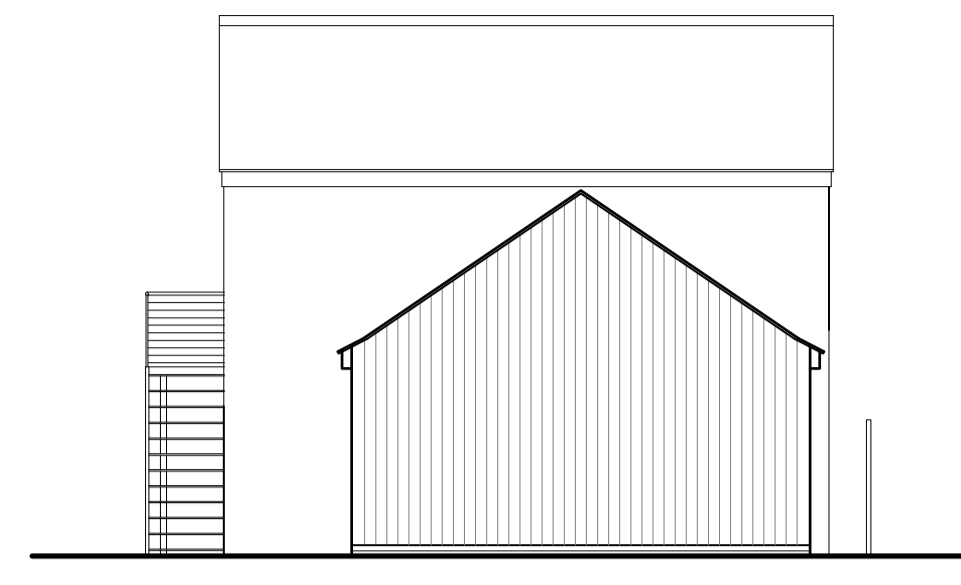
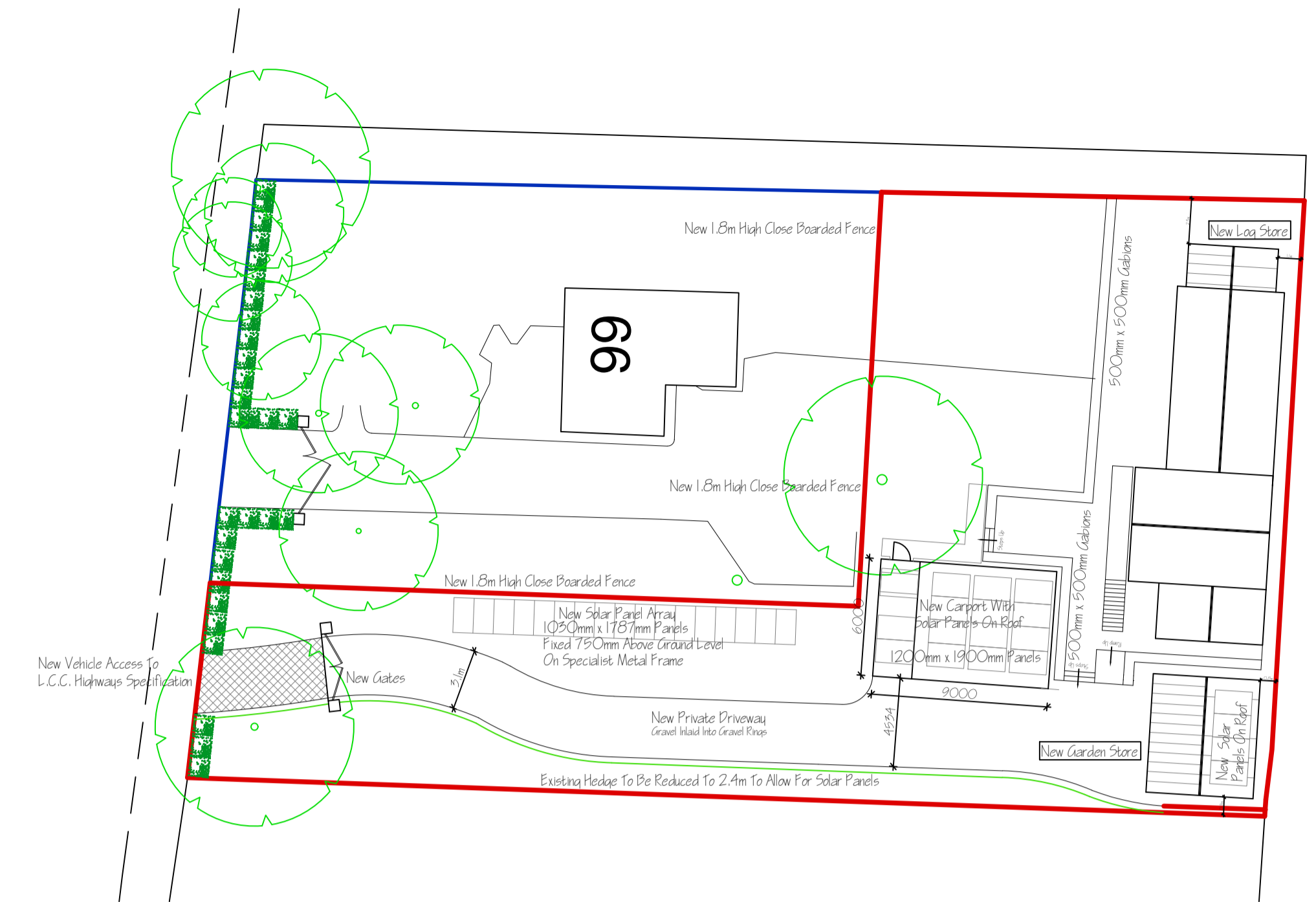




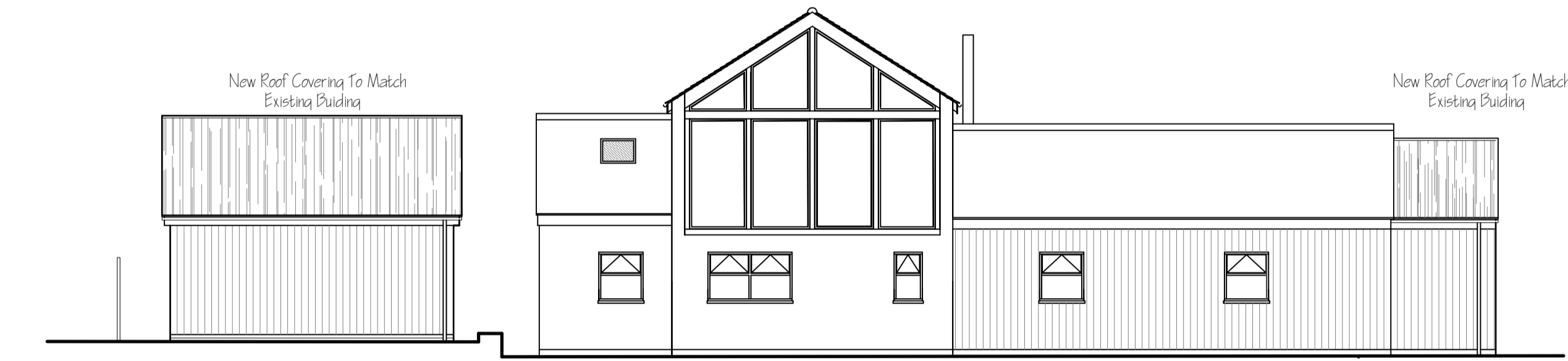
FRONT ELEVATION 1:100



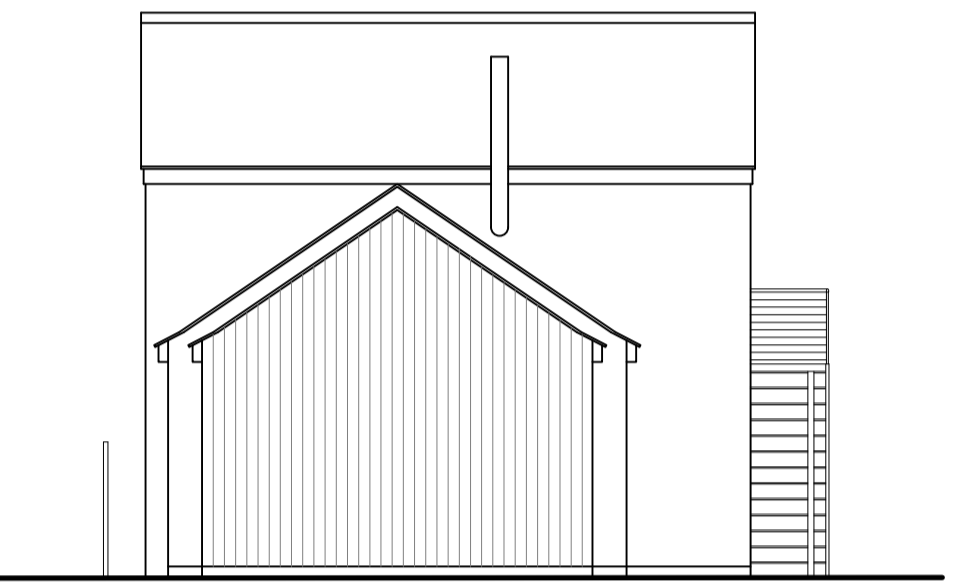
SIDE ELEVATION 1:100



SITE PLAN - PROPOSED 1:250



REAR ELEVATION 1:100



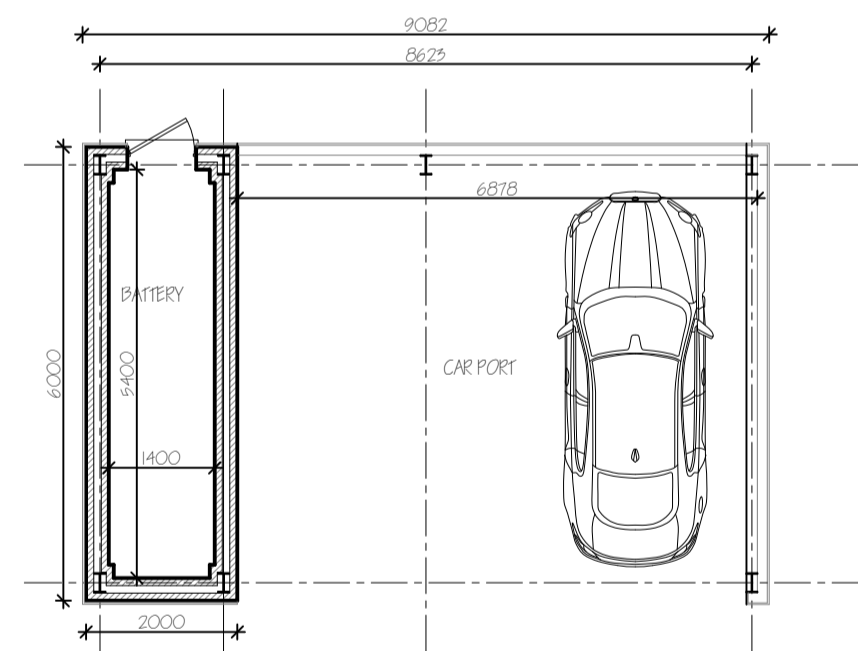
SIDE ELEVATION 1:100

Materials Schedule:

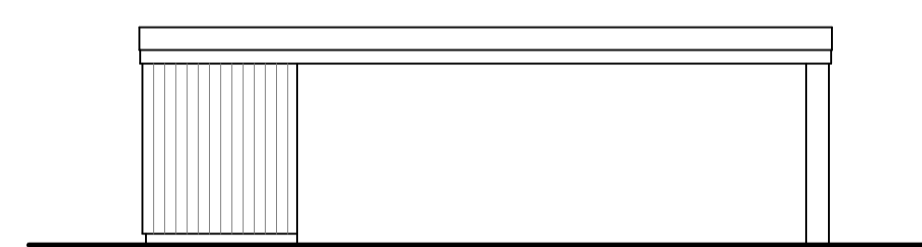
Walls:	Vertical Cladding - Neo Timber - Antique
Roof:	To Match Existing Building
Windows & Doors:	UPVC - Anthracite

ref.	revision	date
D	MATERIALS APPROVED - PLANNING	APR 2025
C	CLIENT AMENDMENTS	FEB 2025
B	CLIENT AMENDMENTS	JAN 2025
A	CLIENT AMENDMENTS	JAN 2025

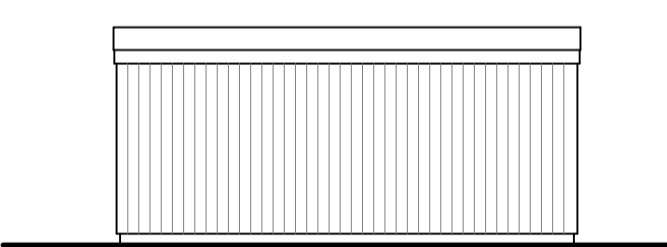
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ARCHITECTURAL CONSULTANTS
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 Spalding, Lincs. PE12 7EE
 Tel: 01406 490800
 E-Mail: office@grmerchantltd.com
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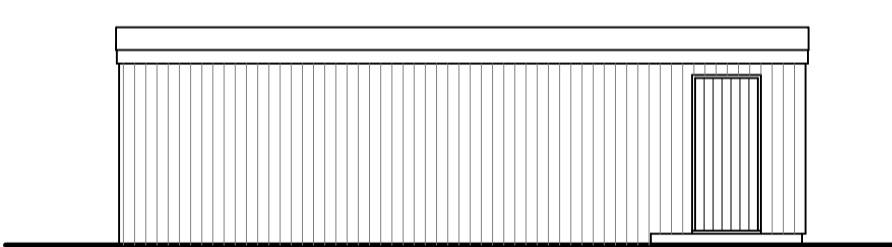
CARPORT FLOOR PLAN 1:100



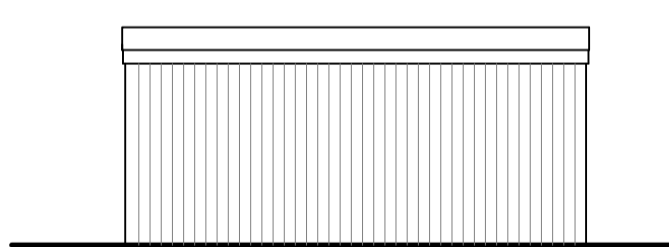
FRONT ELEVATION 1:100



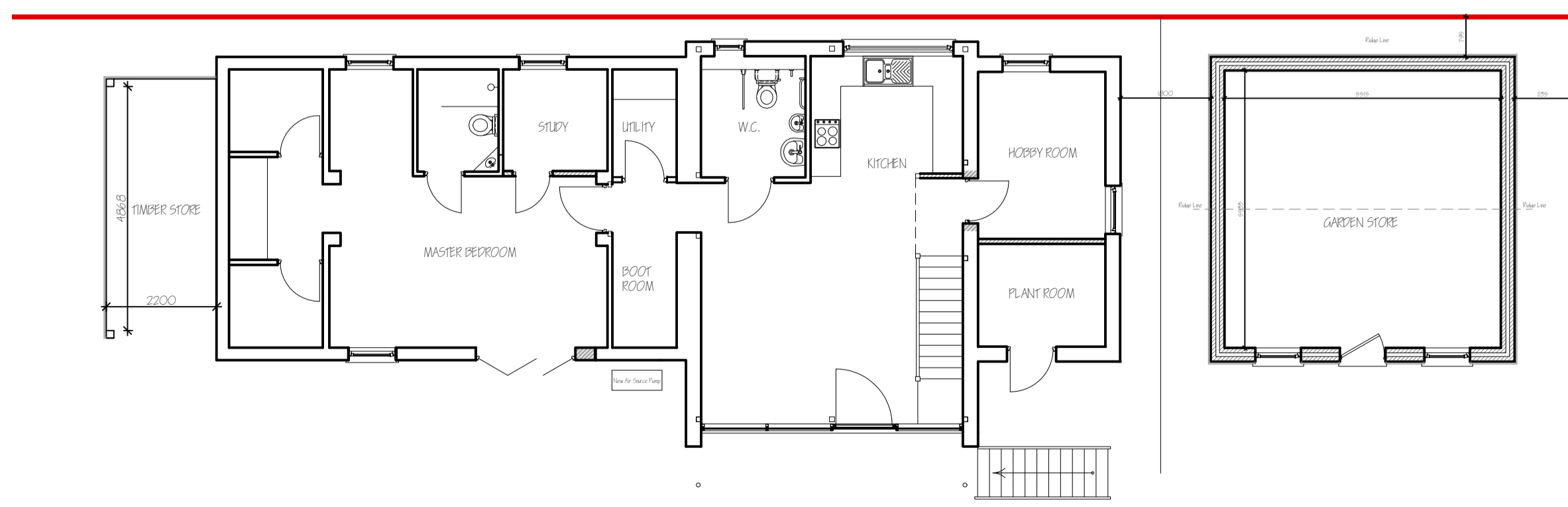
SIDE ELEVATION 1:100



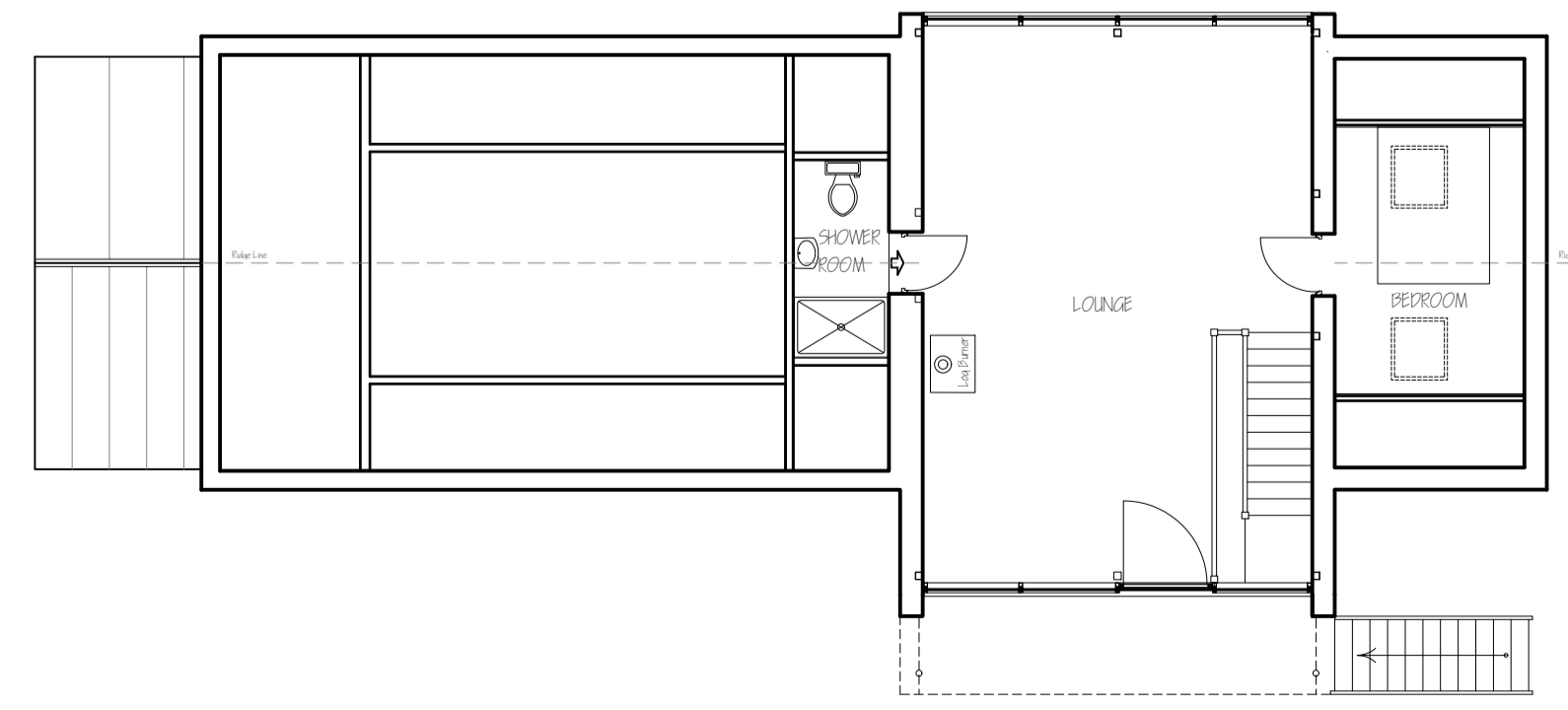
REAR ELEVATION 1:100



SIDE ELEVATION 1:100



GROUND FLOOR PLAN 1:100



FIRST FLOOR PLAN 1:100

Project	
CONVERSION TO DWELLING 'THE OLD PACKING SHED', 66 BACKGATE COWBIT SPALDING, Lincs. PE12 6AP	
Client	
MR & MRS M SMITH-HUGHES	
Drawing	
FLOOR PLAN - PROPOSED ELEVATIONS - PROPOSED SITE PLAN - PROPOSED	
Job Ref.	Drawing No.
4320-24	02D
Date	Drawn
NOVEMBER 2024	SLB
Scales	
1:50 & 1:100 (Unless Otherwise Stated)	
<p>DO NOT SCALE FROM THIS DRAWING</p> <p>This drawing is copyright and may not be altered, traced, photographed or used for any other purpose other than that for which it is issued. The General Contractor is to check all dimensions on site and report any discrepancies to G. R. Merchant Ltd. All details shown on this drawing including foundations are based upon typical site conditions related to the area. No responsibility can be accepted for abnormal conditions which may be discovered during construction unless reported to the G. R. Merchant Ltd on the design amendments may be considered. Site soil surveys are recommended in respect of foundations to establish specific site conditions before foundation work is undertaken. This drawing is limited in the amount of information documented above. The Employer/Client shall ensure that the selected contractor is conversant with and adopts all measures necessary to achieve compliance with Health and Safety regulations for Building sites and Work places. The Employer/Client is advised that should the works need to comply with the Construction Design and Management Regulations an independent Principal Designer shall be required. The works shall comprise all as shown on the drawing and details. Work that may not specifically be shown but may be reasonably inferred as necessary to carry out the works shall be deemed to be included. It is the joint land owners responsibility to be aware of the Party Wall etc. Act 1990 when building in close proximity to adjoining neighbours boundaries.</p>	