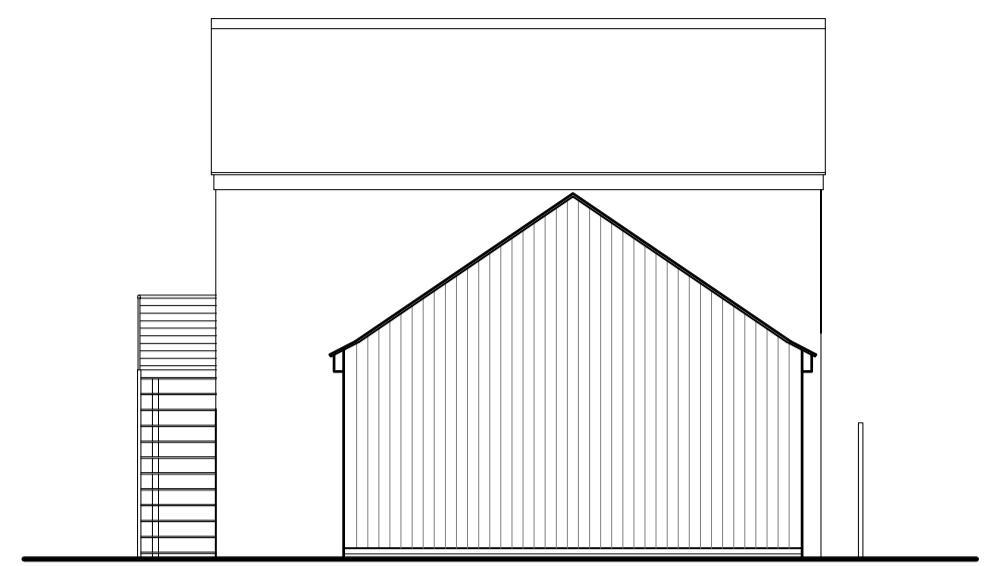


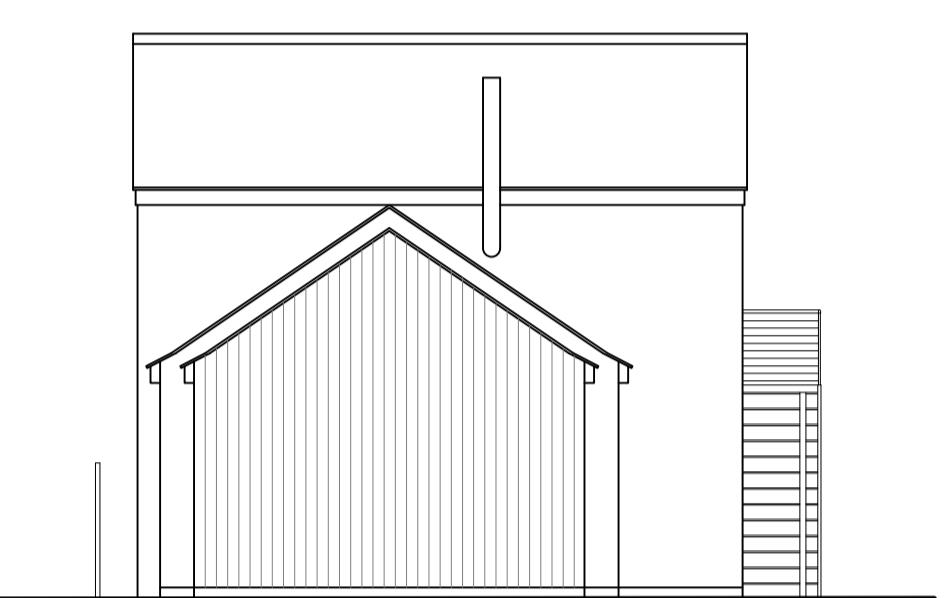
FRONT ELEVATION 1:100



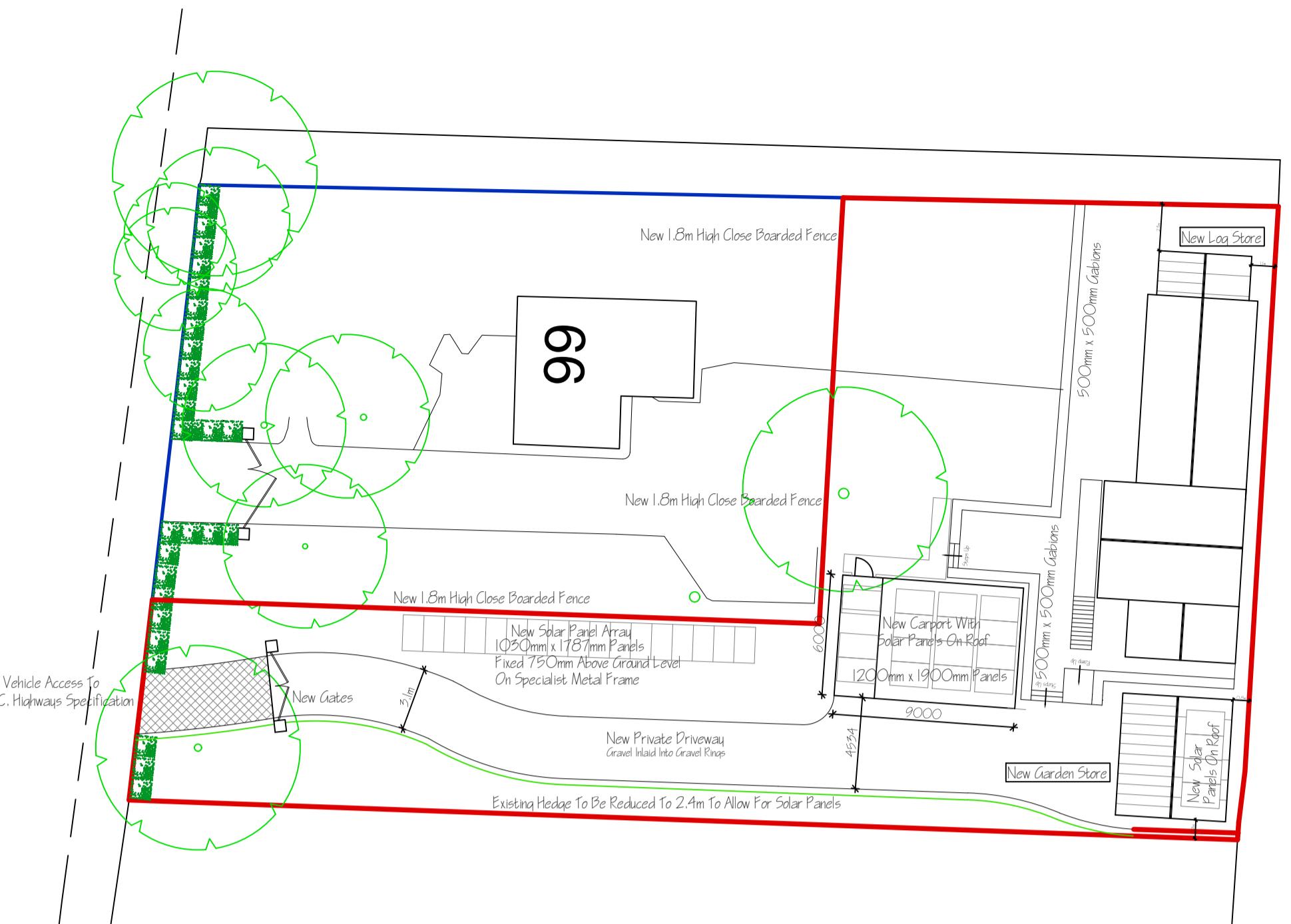
REAR ELEVATION 1:100



SIDE ELEVATION 1:100



SIDE ELEVATION 1:100



SITE PLAN - PROPOSED 1:250

Materials Schedule:

Walls: Vertical Cladding - Neo Timber - Antique
Roof: To Match Existing Building
Windows & Doors: UPVC - Anthracite

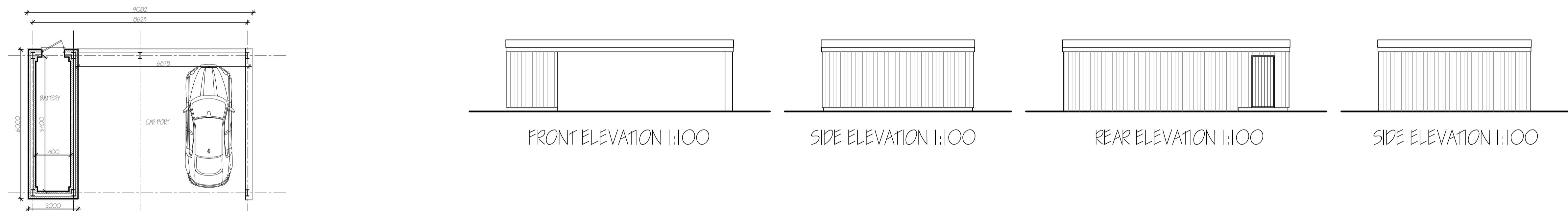
D	MATERIALS ADDED - PLANNING	APR 2023
C	CLIENT AMENDMENTS	FEB 2023
B	CLIENT AMENDMENTS	JAN 2023
A	CLIENT AMENDMENTS	JAN 2023
ref:	revision	date

G. R. MERCHANT LTD.

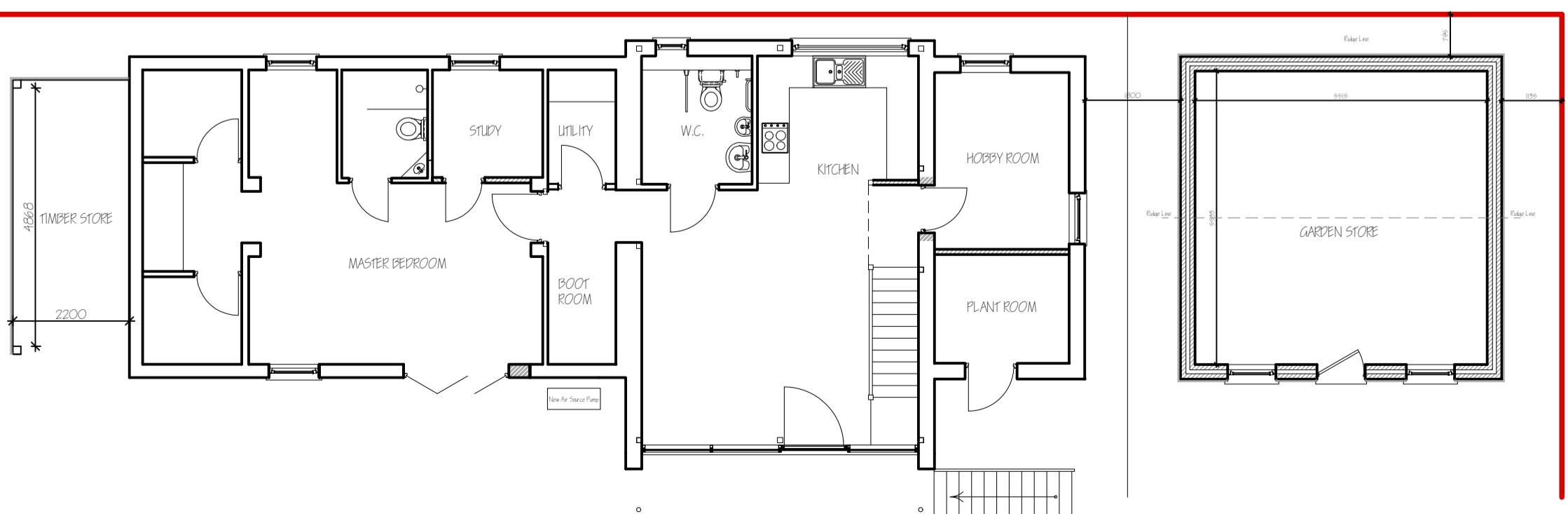
ARCHITECTURAL
CONSULTANTS



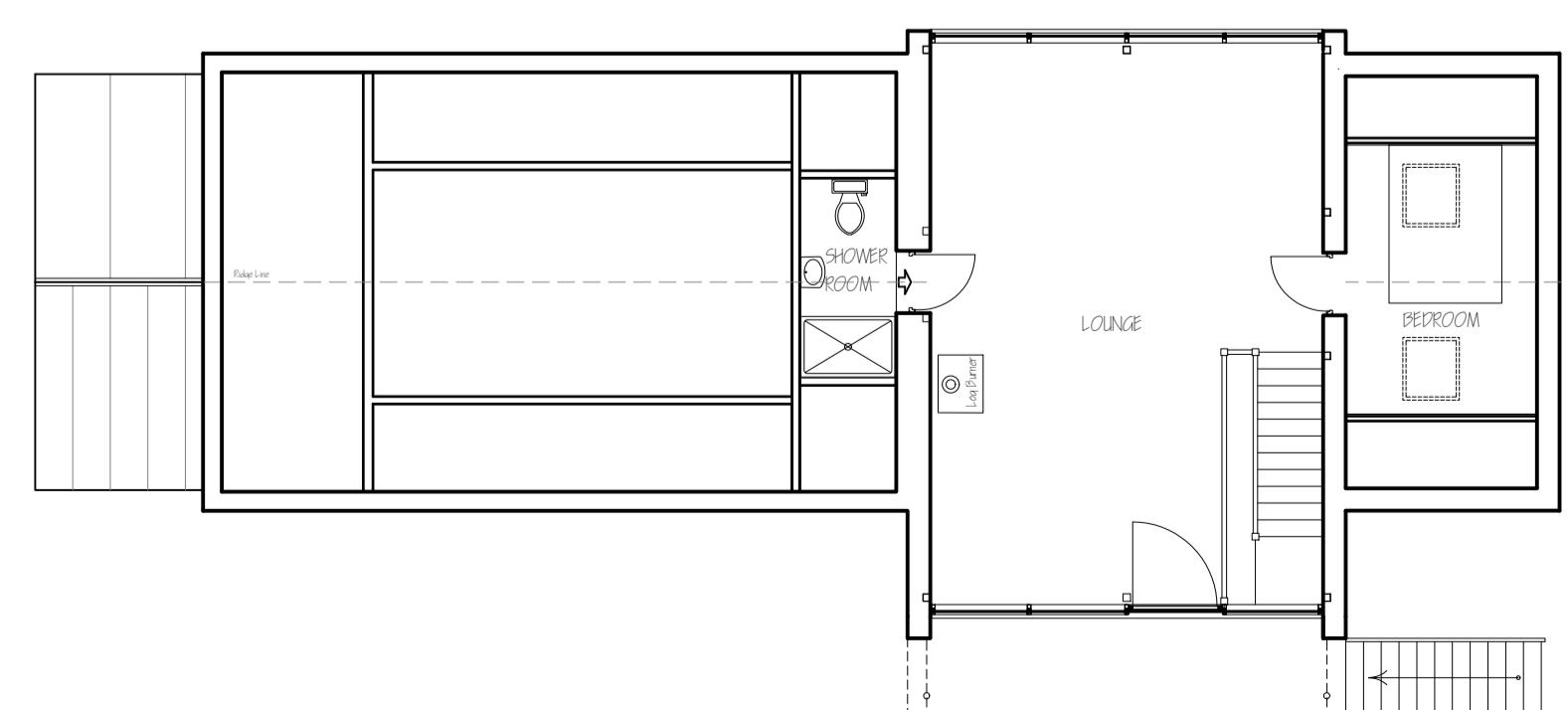
4 Wrights Mews
12A Park Road, Holbeach,
Spalding, Lincs. PE12 7EE
Tel: 01406 490800
E-Mail: office@grmerchantltd.com
Website: www.grmerchantltd.com



CARPORT FLOOR PLAN 1:100



GROUND FLOOR PLAN 1:100



FIRST FLOOR PLAN 1:100

Project
CONVERSION TO DWELLING
'THE OLD PACKING SHED', 66 BACKGATE
COMBIT
SPALDING, LINC. PE12 6AP

Client
MR & MRS M SMITH-HUGHES

Drawing
FLOOR PLAN - PROPOSED
ELEVATIONS - PROPOSED
SITE PLAN - PROPOSED

Job Ref. 4320-24 Drawing No. O2D
Date NOVEMBER 2024 Drawn SLB

Scales 1:50 & 1:100 (Unless Otherwise Stated)

DO NOT SCALE FROM THIS DRAWING
This drawing is copyright and may not be altered, traced, photographed or used for any other purpose other than that for which it is issued. The General Contractor is to check all dimensions on site and report any discrepancies to the Architect. The Architect is not responsible for any errors or omissions in the drawings. Foundations are based upon typical site conditions related to the area. No responsibility can be accepted for any errors or omissions in the drawings. Site surveys are the responsibility of the General Contractor. Site surveys are to be undertaken. This drawing is limited in the amount of information contained and does not purport to contain a full specification of the works. It is solely for the purpose of obtaining Planning / Building Regulations approval. The drawings are not to be used for any other purpose. The drawings are not to be supervised or inspected on site by G.R. Merchant Ltd or any representative thereof. It is the client's responsibility to ensure that the works are supervised and inspected on site by a suitably qualified person in accordance with specification, variations to contract etc. All materials shall be new unless otherwise stated and shall be supplied by the client. All materials shall be supplied by the client and shall be delivered to site in accordance with manufacturers instruction and relevant code of practice. Materials shall conform to appropriate British standard specification or BBA certificate or European code equivalent. The Employer / Client shall ensure that the works are carried out in accordance with the relevant Health and Safety at Work etc. Act 1992 and any other relevant legislation. The Employer / Client shall ensure that the works are carried out in accordance with the relevant Building Regulations. An independent Principal Designer will be required. The works shall comprise of all that is necessary to carry out the works as specified in the drawings. The Employer / Client shall ensure that the works are carried out in accordance with the relevant Building Regulations. Any work necessary as inferred to carry out the works shall be deemed to be included. It is the plot / land owners responsibility to be aware of the Party Wall etc. Act 1996, when building in close proximity to adjoining neighbours boundaries.