

FLOOD RISK ASSESSMENT

OFFICE BLOCK
CLIFTONS BRIDGE
FISHERGATE,
SUTTON ST JAMES,
PE12 O EZ.

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RMA

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FLOOD RISK ASSESSMENT FOR OFFICE BLOCK, CLIFTONS BRIDGE, FISHERGATE, SUTTON ST JAMES, PE12 0EZ.

EXECUTIVE SUMMARY

Summary of Possible Sources of Flooding		
Source	Significant	Comment
Fluvial (Main River)	No	No Main River close to the site
Tidal	Low/Medium	The site may be at risk from Tidal sources in the form of residual risk due to the failure of flood management infrastructure such as a breach of a raised flood defence. scenario, today or with an allowance for climate change
Pluvial	No	Not shown on Flooding from Surface Water to be affected for the 0.1% event
Ground Water	No	Unlikely due to ground conditions
Overland flow	No	No high ground surrounding the site
Blockage	Low	South Holland IDB watercourse alongside the site Boundary
Infrastructure	No	No public sewers in the vicinity of the site
Reservoirs	No	Shown to be at no risk in the Dry or Wet Day Scenario
Lakes & Canals	No	No lakes or canals close to the site

INTRODUCTION

The Government has placed increasing priority on the need to take full account of the risk associated with flooding at all stages of the planning and development process. This seeks to reduce the future damage to property and the risk to life from incidents of flooding. Their expectations relating to flooding are contained in the National Planning Policy Framework December 2023, (NPPF), which identifies how the issue of flooding is dealt with in the drafting of planning policy and the consideration of planning applications by avoiding inappropriate development in areas at risk from flooding and to direct development away from areas at highest risk.

The NPPF provides that development in areas at risk of flooding should be avoided and seeks to direct development away from areas at highest risk. There is a sequential, risk-based approach to the location of development avoiding where possible, flood risk to people and property managing any residual risk and taking account of the impacts of climate change.

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APPLICATION SITE

The site is located at Horizon Agriculture Ltd, Cliftons Bridge, Fishergate, Sutton St James, PE12 0EZ, within the South Holland District Council's administrative area. The National Grid Reference is TF 38035 19026.

(what3words /// subway.loans.jiggle). **Plan 1**

This flood risk assessment has been prepared for a planning application for the retention of an existing two storey office block to support the existing agricultural business. A temporary planning approval Ref H06-0259-14 was granted 16 June 2014, Condition 7 required this to be removed after 5 years from the date of the decision notice.

Plans 2 & 3

The National Planning Policy Framework Guidance NPPG defines three levels of flood risk depending upon the annual probability of fluvial flooding occurring.

Zone 1 – Low Probability (<0.1%)

Zone 2 – Medium Probability (0.1 – 1.0%)

Zone 3 – High Probability (>1.0%)

The proposed development site is shown to be within Flood Zone 3 'High Probability' as detailed on the Environment Agency's Flood Zone Maps **without defences**, and as defined in Table 1 of NPPG.

Table 1: Flood Zones Definition

Flood Zone 3- High Probability
<p>Definition Land assessed as having a 1 in 100 or greater annual probability of river flooding (>1%) or a 1 in 200 or greater annual probability of flooding from the sea (>0.5%) in any year.</p> <p>The water-compatible and less vulnerable uses of land are appropriate in this zone. The highly vulnerable uses should not be permitted in this zone. The more vulnerable and essential infrastructure uses should only be permitted in this zone if the Exception Test is passed. Essential Infrastructure permitted in this zone should be designed and constructed to remain operational and safe for uses in times of flood.</p>
<p>Flood Risk Assessments requirements All proposals in this zone should be accompanied by a Flood Risk Assessment.</p>
<p>Policy aims. Developers and local authorities should seek opportunities to:</p> <ul style="list-style-type: none">• reduce the overall level of flood risk in the area through the layout and form of the development and the appropriate application of sustainable drainage techniques.• relocate existing development to land with a lower probability of flooding.• create space for flooding to occur by allocating and safeguarding open space for flood storage.

Applying the Flood Risk Vulnerability Classification in Table 2 of NPPG, the proposed office is classified as “Less Vulnerable,” Table 1 of NPPG states that such uses are permitted in this zone.

Table 2: Flood Risk Vulnerability Classification

Less Vulnerable
<ul style="list-style-type: none">• Police ambulance and fire stations that are not required to be operational during flooding.• Buildings used for shops, financial, professional, and other services, restaurants and cafes, hot food takeaways, offices, general industry, storage and distribution, non-residential institutions not included in “more vulnerable” and assembly and leisure.• Land and buildings used for agricultural and forestry.• Waste treatment (except land fill and hazardous waste facilities).• Minerals working and processing (except for sand and gravel working).• Water treatment works that do not need to remain operational during times of flood.• Sewage treatment works (if adequate measures to control pollution and manage sewage during flood events are in place).

Site Levels

The survey to Ordnance Datum Newlyn, reveals that the land levels around the existing office block are circa 2.60mODN. Fishergate road level at the site entrance is 2.75mODN.

DRAINAGE AUTHORITIES

Environment Agency

The Environment Agency has permissive powers for reducing the risk of flooding from designated main rivers and from the sea.

- the River Nene (Tidal)
- The Wash (Tidal)
- South Holland Internal Drainage Board system

No potential sources of flooding from main rivers that could affect the development site have been identified.

The Flood Map indicates the area at risk of flooding, **assuming no flood defences exist**, for a flood event with a 0.5% chance of occurring in any year for flooding from the sea, or a 1% chance of occurring for fluvial (river) flooding. It also shows the extent of the Extreme Flood Outline which represents the extent of a flood event with a 0.1% chance of occurring in any year, or the highest recorded historic extent if greater. In some locations, such as around the fens and the large coastal floodplains there are many kilometres of raised flood defences. To meet the requirements of the National Planning Policy Framework, these defences are removed in their entirety to produce the Flood Map for Planning (Rivers and Sea). The map therefore shows the full extent of areas that would be at risk of flooding if no defences existed, and water could spread out across the floodplain.

Flood Zones

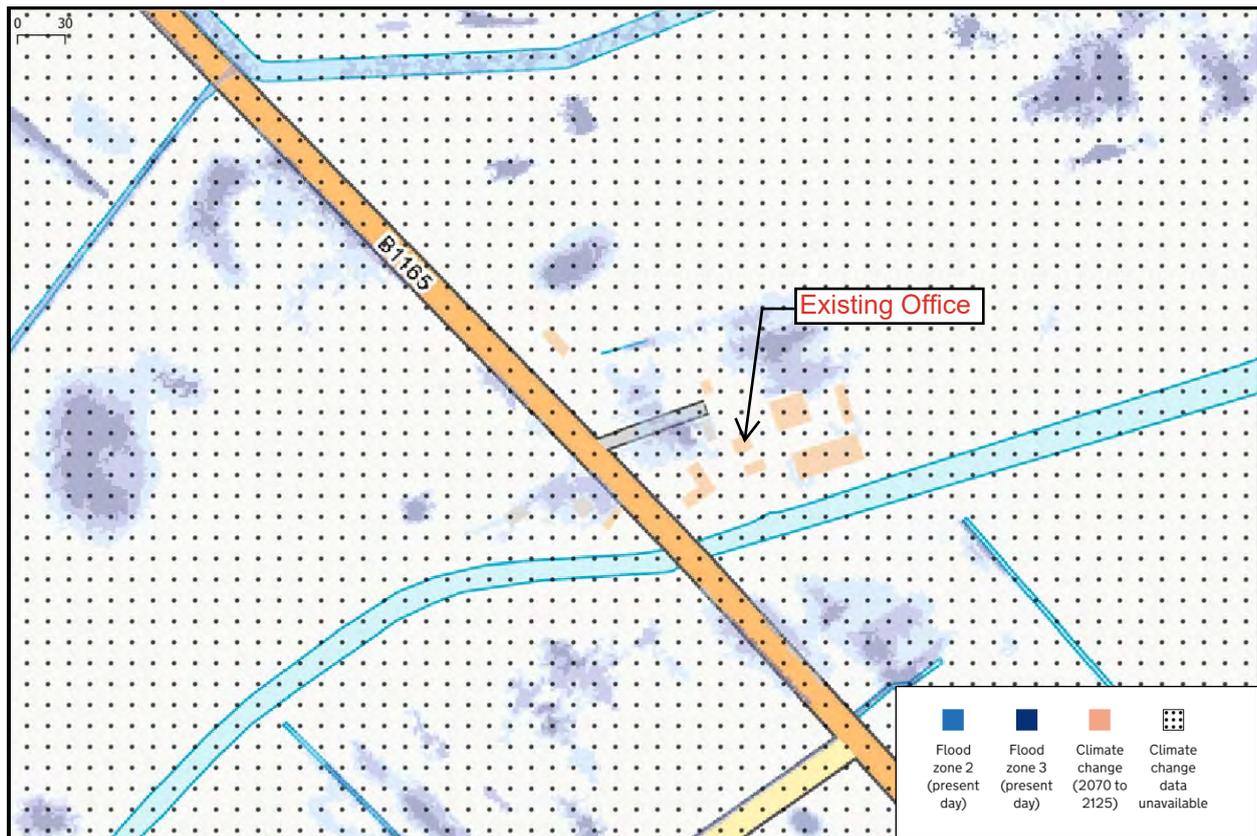
These maps were updated on the 25th March 2025 and show that the site is considered at **no** risk from tidal/fluvial flooding as it is all located within an area zoned as Flood Zone 1. The maps indicate that the area would be flooded, without flood defences, which are in place, (with an annual probability of more than 0.5% i.e., return frequency of less than 1 in 200 years for tidal flooding or more than 1.33% return frequency of less than 1 in 100

years for fluvial flooding).



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Flood Map for Planning (Source EA)



Flood Map for Planning With Climate Change (Source EA)

On the 27 August 2025 the Environment Agency added a new layer on “Flood Map for Planning Flood Zones plus Climate Change”, which shows how the combined extent of Flood Zones 2 and 3 could increase with climate change over the next century. Flood zone 1 sites that are within the ‘flood zones plus climate change extent’ should be treated as if they were in flood zone 2.

In this location, all or part of the site is included in an area where flood zones plus climate change data is not currently available while the environment agency makes important improvements to their data.

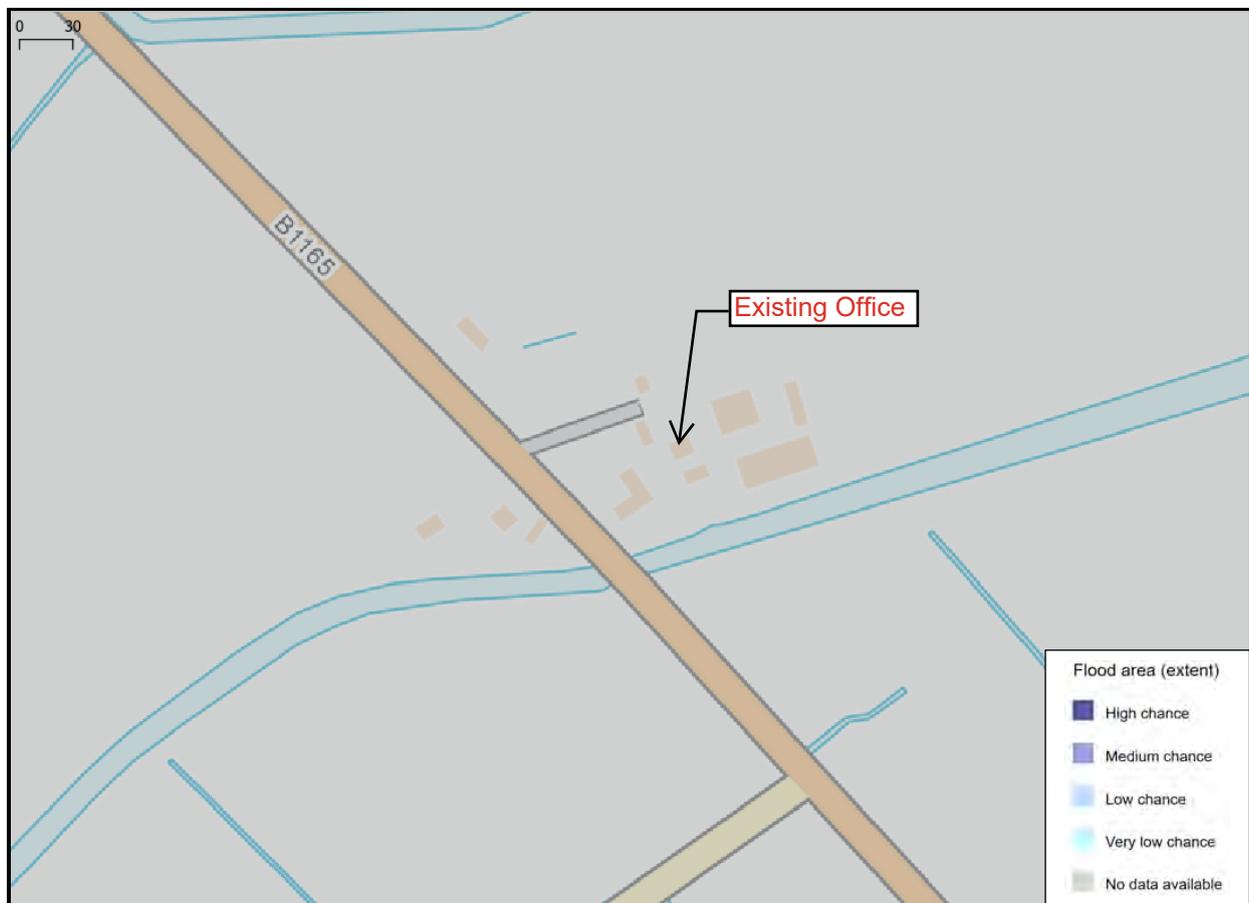
Risk of Flooding from Rivers & Sea

The Risk of flooding from Rivers and Sea maps were updated in January 2025 and for the present day show that the site for the development, to be at a Low chance of flooding. Low means that each year, this area has a chance of flooding between 0.1% and 1.0%. This takes into account the effect of any flood defences that may be in this area. Flood defences reduce, but do not completely stop the chance of flooding as they can be overtopped or fail.



Risk of Flooding from Rivers and Sea Map Present Day (Source EA)

In this location, all or part of the site is included in an area where the risk of flooding from rivers and sea plus climate change data is not currently available while the Environment Agency makes important improvements to their data



Risk of Flooding from Rivers and Sea Map With Climate Change (Source EA)

Schemes in the Area

There are no ongoing capital projects to reduce or sustain the current flood risk to this site.

Fluvial Flooding

The site is not considered to be at risk of flooding from main rivers.

Tidal Flood Risk

The greatest risk of flooding for the site is from a breach to the tidal defences.

The Wash Tidal Defences

The Wash is located some 15Km northeast of the site. The tidal defences protecting this site consist of earth embankments, which are supplemented by saltmarsh to maintain foreshore levels. The crest heights are circa 7.00mODN. They are in good condition and reduce the risk of flooding (at the defence) to a 0.67% (1 in 150) chance of occurring in any year. The Environment Agency inspect these defences routinely to ensure potential defects are identified.

The River Nene Tidal Defences

The River Nene is located some 9.0 Km southeast of the site. The existing tidal defences protecting this site consist of earth embankments. They are in fair condition and reduce the risk of flooding (at the defence) to a 0.67% (1 in 150) chance of occurring in any year. The Environment Agency inspect these defences routinely to ensure potential defects are identified.

Breach Analysis to the Tidal Defences

From Lincolnshire & Northamptonshire Area Tidal Modal Analysis, levels for East Coast and Wash: Immingham to the West Lighthouse have an assessment date of 2017, which should be used in any consideration of future increases due to climate change. **Map 1**

Peak tide levels (2017) for the 1 in 200-year 50% confidence bound tide level is 5.82mODN at West Lighthouse and 5.78 at Wisbech.

Peak tide levels (2124) tide level a is 5.82mODN plus Higher Central climate change of 1025mm would be 6.85mODN at West Lighthouse and 6.81mODN at Wisbech.

Taking the precautionary approach, the Hazard Rating following a breach which in Flood Risk Assessment (FD 2320) Guidance for New Development Phase 2 R& D Technical Report these are classified as low <0.75, moderate 0.75-1.25, significant 1.25-2.50 and extreme >2.50 based upon an empirical measure of velocity and depth.

Flood Hazard			Description
	<0.75	Low	Caution – Flood Zone with shallow flowing water or deep standing water.
	0.75 – 1.25	Moderate	Danger for Some - (i.e. children) Danger Flood Zone with deep or fast flowing water.
	1.25 – 2.0	Significant	Danger for Most – Danger Flood Zone with deep fast flowing water.
	>2.0	Extreme	Danger for All – Extreme Danger Flood Zone with deep fast flowing water.

$$HR = d \times (v + 0.5) + DF$$

Where V = Flood flow velocity (m/sec)

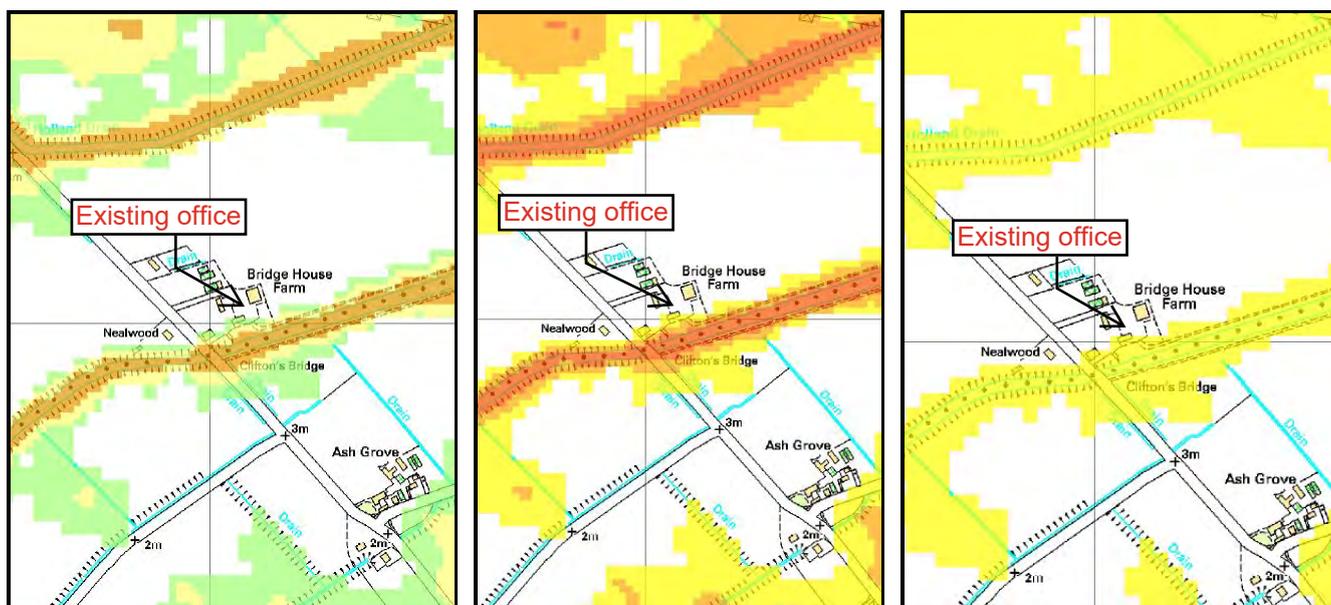
D = Flood depth (m)

DF = A debris factor included to represent the greater damage, or risk of injury to people, that can occur if debris is swept along with the water. = 0.5 for depths <0.25 or 1.0 for depths.

For the degree of Flood Hazard to be classified as low HR must be <0.75.

The Environment Agency has carried out a Tidal Hazard Mapping and following a breach to the defences. The Northern Area Tidal Hazard Maps (2009) for Scenario year 2006 for the 1 in 200-year event show that the site is not affected by breaching. With climate change up to year 2115 the maps still show that for the 1 in 200-year event that the site is also not affected by breaching.

The Environment Agency has also produced maps based on computer modelling of simulated overtopping of defences along the coastline for specific tidal scenarios. The maps only consider the consequences of overtopping of defences and do not show the possible consequences of breaches of the tidal defences. For future climate change scenarios, it is assumed that the defences remain at 2006 heights. The site is not affected by overtopping for the 0.5% (1 in 200) chance events for 2006 and 2115.



Tidal Breach Maps for 1 in 200year Event 2115 (Source EA)

Floor Levels

Requirements for FFL for More Vulnerable uses:

The minimum mitigation measures required for developments that do have ground floor sleeping shall be determined by the flood depths arising from the 2115 0.5% breach scenario. Developments that do not have ground floor sleeping shall be determined by the flood depths arising from the 2115 0.1% breach scenario. The finished floor Level FFL of any new development shall be informed by the flood depths.

The site is shown on the Environment Agency breach flood maps with climate change for the 0.5% event not to be affected by flooding. Therefore, the ground floor for the existing office will remain at the same level.

It is considered the proposals would comply the aims of the NPPF para.173 to ensure the development would be safe for its lifetime.

South Holland District Council

In order to inform the process of risk assessment and site selection the District Council commissioned Haskoning UK Ltd Consultants to prepare a Strategic Flood Risk Assessment in December 2002. They have carried out an update of this report, and this report was published in January 2010, and this was further updated in February 2017.

This Flood Risk Assessment has taken the results of the (2017) updated South Holland Strategic Flood Risk Assessment (SHSFRA) into account in its findings.

The whole of the tidal flooding information has been replaced by the mapping from the latest Environment Agency Tidal Hazard mapping. Where the mapping for an area contains both fluvial and tidal components, the more severe of the two has been presented.

The present-day for the Residual Flood Hazard, Depth and Velocity District –1% fluvial and 0.5% Tidal Event Probability maps show that the site where the proposed development is to be located is not within hazard area. for both, the present day and with climate change climate change (2115).

South Holland Internal Drainage Board

The proposed development site is located within Little Holland S Catchment area (CMT197P) of South Holland Internal Drainage Board. The Board is responsible to operate and maintain the arterial fluvial system. The Board have a high priority watercourse DRN197P4201 F48 Moulton Mere Drain North which discharges into the South Holland main Drain at Little Holland Sluice



South Holland Drainage Map

The Board's prior written consent will be required for any of the following works:

- No person without the previous consent of the Board shall erect any building or structure, whether temporary or permanent, or plant any tree, shrub, willow or other similar growth within 9 metres of the landward toe of the bank where there is an embankment or wall or within 9 metres of the top of the batter where there is no embankment or wall, or where the watercourse is enclosed within 9 metres of the enclosing structure.

- No person shall, without the previous consent of the Board, for any purpose, by means of any channel, siphon, pipeline or sluice or by any other means whatsoever, introduce any water into the district or, whether directly or indirectly, increase the flow or volume of water in any watercourse in the district.
- The erection or alteration of any mill dam, weir or other like obstruction to the flow, or erection or alteration of any culvert within the channel of a riparian watercourse.

FLOODING FROM OTHER SOURCES

Flooding is a natural process and can happen at any time from sources other than watercourses and the sea.

- Flooding from land can occur from intense rainfall, often over short duration of time that is unable to soak into the ground or enter the drainage system. However, with the natural topographic nature of the ground being flat, with no high ground around the site this will not cause any rapid inundation of the site and is likely only lead to local ponding of shallow depth and low velocity. It is concluded that flooding from this source is limited to minor isolated cases and is not of strategic significance as regards to flood risk.
- Groundwater flooding occurs when groundwater levels increase sufficiently for the water table to intersect the ground surface. Groundwater flooding can occur in a variety of geological settings including valleys, in areas underlain by chalk, and in river valleys with thick deposits of alluvium and river gravels. The area is not known to suffer from any groundwater problems.
- Flooding from sewers can occur from overloading from heavy rainfall caused by blockages or having inadequate capacity. There are no public sewers in the vicinity of the site.
- Non-natural or artificial sources of flooding such as reservoirs, lakes, or canals where water is stored above natural ground level could cause flooding if the structure fails or is over topped.

Reservoirs

The EA has prepared reservoir failure flood risk mapping to show the largest area that might be flooded if a reservoir were to fail and release the water it holds. The mapping displays two scenarios as follows:

- Dry this is the extent when the river levels are normal,
- Wet this is the extent when there is also flooding from rivers.

The mapping displays a worst-case scenario and is only intended as a guide. The site is shown to be at no risk of flooding due to the failure of a large, raised reservoir in both the dry day and wet day scenarios. All large reservoirs must be inspected and supervised by reservoir panel engineers as detailed by the enforcement authority for the Reservoirs Act 1975 in England. The EA are responsible to ensure that reservoirs are inspected regularly, and essential safety work is carried out. As such, the risk of flooding from this source is relatively low.

Canals and or Artificial Water Bodies.

The site is not at risk of flooding from canals and or Artificial Water Bodies.

RESIDUAL RISKS

There is always a possibility of a flood from either the failure of: -

- The flood management infrastructure, or a blockage of the foul or surface water drainage system.
- A severe flood event that exceeds the design standards of more than that allowed for which might conceivably cause some flooding or very intensive and prolonged rainfall event which the drainage system cannot cope with.

However, such events would have a very low probability and the risk of flooding to the property would be extremely small. It is therefore considered that the residual risks associated with flooding are not significant.

SURFACE WATER FLOODING

The Risk of flooding from surface water was updated in January 2025 and for the climate change scenario the map shows the proposed location for the development, to be at no chance of flooding for both the present-day scenario and with climate change.

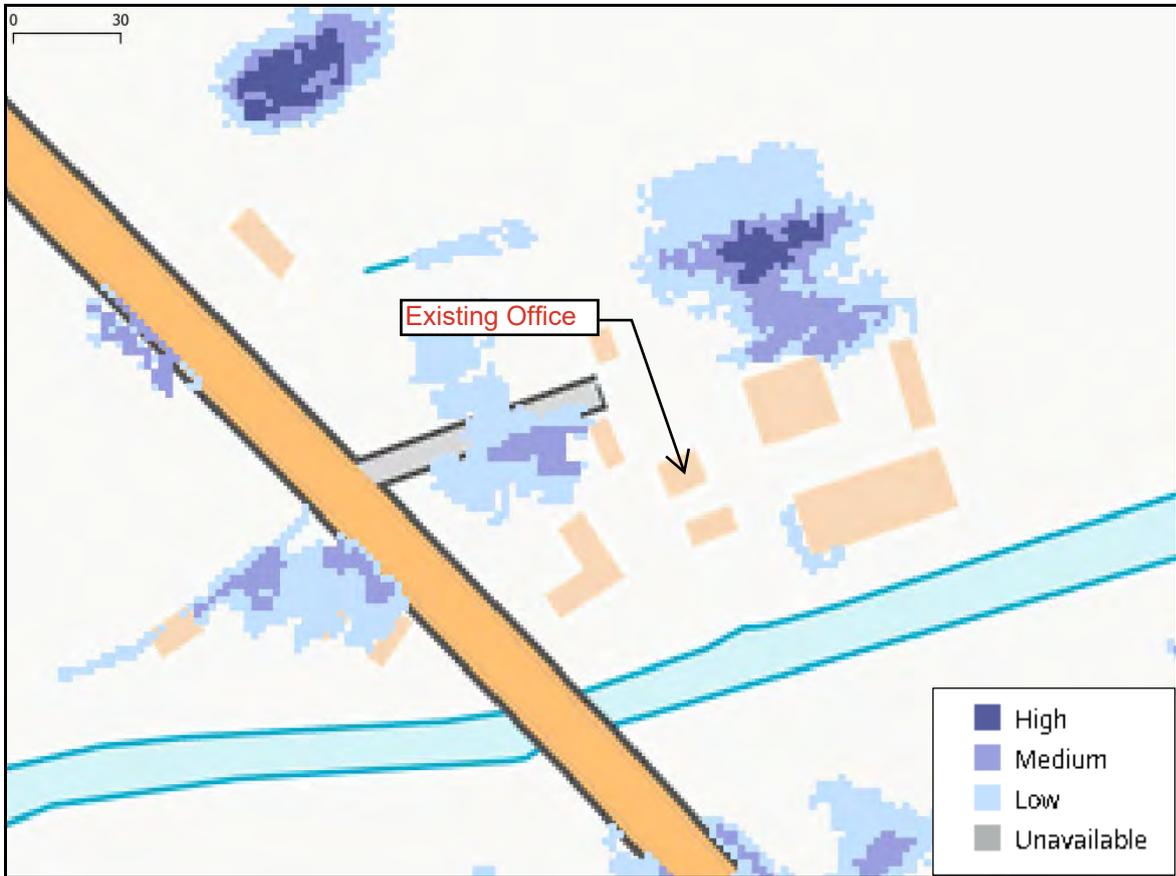
The chance of flooding for the area defined in any given year is shown below:

- **High:** greater than 1 in 30 (3.3%).
- **Medium:** between 1 in 100 (1%) and 1 in 30 (3.3%).
- **Low:** between 1 in 1000 (0.1%) and 1 in 100 (1%).
- **Very Low:** less than 1 in 1000 (0.1%)

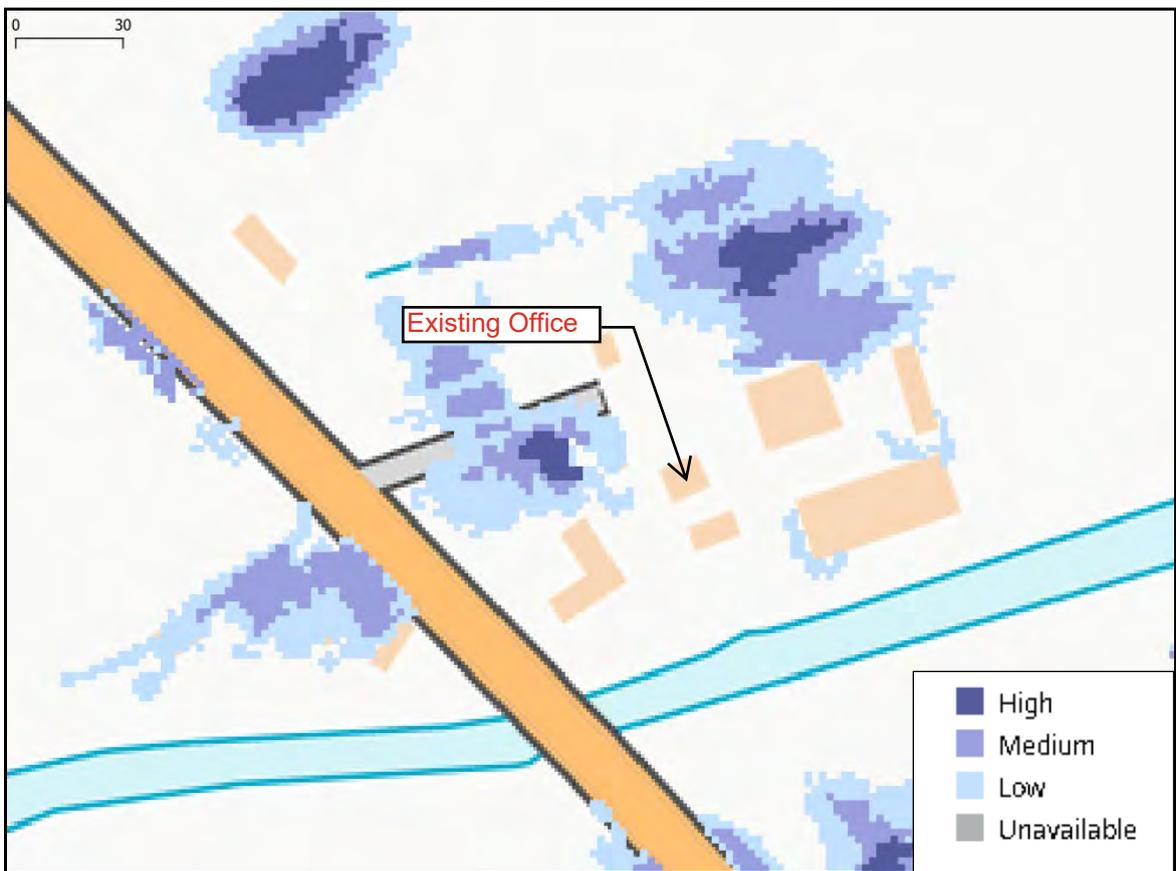
The RoFSW products are an assessment of where surface water flooding may occur when rainwater does not drain away through the normal drainage systems or soak into the ground but lies on or flows over the ground instead. It includes information about flooding extents and depths.

There is a caveat contained in the Environment Agency's "Product description for the risk of flooding from surface water." *RoFSW outputs are generally not suitable for property level assessment; instead, they estimate flood risk to an area of land. The method used does not provide information relating to when the floodwater may be deep enough to start causing damage or disruption to homes, roads or other infrastructure.*

A near-term epoch (2040 – 2060 "2050s" epoch) and central allowances are being used initially, to support short and medium-term decisions informed by the highest flood likelihood projections.



Risk of flooding From Surface Water Map with Present Day (Source EA)



Risk of flooding From Surface Water Map with Climate Change (Source EA)

SEQUENTIAL APPROACH

When applying the sequential approach for flood risk in accordance NPPF the site of the development would fall into Flood Zone 3 (High Probability), as shown on the Environment Agency's Flood Map without defences in place.

The Environment Agency categorise land into one of three Flood Zones.

- Flood Zone 1 is land outside the 0.1% floodplain (with a chance of flooding of less than 0.1% chance in any given year).
- Flood Zone 2 is land that falls between the 1 in 100-year extent and the 1 in 1000-year extent (a chance of flooding between 1% and 0.1% in any given year).
- Flood Zone 3a is land which falls within the 1 in 100-year flood extent (has a 1% chance of a flood occurring in any given year).

Applying the Flood Risk Vulnerability Classification in Table 2 of NPPG, the proposed development for office use is classified as, "Less Vulnerable" with Table 1 of NPPG stating that such uses are appropriate in this zone (as summarised in Table 3 NPPG).

Table 3: Flood Risk Vulnerability and Flood Zone 'Compatibility'

Flood Risk Vulnerability Classification		Essential Infrastructure	Water Compatible	Highly Vulnerable	More Vulnerable	Less Vulnerable
Flood Zone	Flood Zone 1	✓	✓	✓	✓	✓
	Flood Zone 2	✓	✓	Exception Test Required	✓	✓
	Flood Zone 3a	Exception Test Required	✓	✗	Exception Test Required	✓
	Flood Zone 3b Functional Floodplain	Exception Test Required	✓	✗	✗	✗

Sequential & Exception Test

NPPF Guidance Paragraphs 161 - 186 requires development within high areas of flood risk be determined using a sequential risk-based approach to the location of development to avoid where possible flood risk to people and property and manage any residual risk, taking account the impacts of climate change.

The aim of the Sequential Test is to steer new development to areas with the lowest probability of flooding.

The NPPF states that development should not be permitted if there are reasonably available sites appropriate for

the proposed development in areas with a lower probability of flooding. It is important to note that the Sequential Test does not specifically mean that sites such as this cannot be developed, rather that sites at less risk should be developed first.

The risk of flooding at the site is very low, it is shown on the Environment Agency Hazard, Velocity and Depth Maps, year 2115, for the 1 in 200-year event, that the site where the proposed development is to be located is not within an area affected by flooding from a breach to the flood defences.

Accordingly, Policy 7 of the adopted SE Lincolnshire Local Plan confirms that new employment development /businesses or the extension of an existing business outside the allocated employment sites will be supported provided that the proposal involves the re-use of previously developed land or the conversion/re-use of redundant buildings. On that basis, it is considered that development would be important to the economic or social needs of the community.

As the proposal for the 'Less Vulnerable' uses are for industrial purposes within the site of the existing business, it would be unreasonable to consider sites elsewhere within the district as this facility is to sustain the established business and provide employment opportunities. In this particular case the business is centred on the land owned and operated by Horizon Agriculture and to consider areas outside the holding would not be practical. The retention of the existing office block is essential to support the existing business use already established on site. Consequentially the Sequential Test is met, with the development being "Less Vulnerable" the Exception Test is not required

CLMATE CHANGE

Global warming is now recognised that it is likely to affect the frequency and severity of extreme events as both tidal and fluvial flooding. The Climate change allowances in the NPPF Guidance was updated on the 20th of July 2021.

Peak River Flow Allowances

For flood risk assessments use the Management Catchment Climate Changes for the peak river flow map. Management catchments are sub-catchments of River Basin Districts.

The site is located within the Welland Management Catchment within the Anglian River Basin District, for sites within Flood Zone 2 or 3a and for "Less Vulnerable" land uses, the Central allowances figures, in the Table below, should be used.

Peak River flow allowances within the Management Catchment Allowances				
River Basin District /Management Catchment	Allowance category	Total potential change anticipated for '2020s' (2015 to2039)	Total potential change anticipated for '2050s' (2040 to2069)	Total potential change anticipated for '2080s' (2070 to2115)
Anglian/ Welland	Upper End	22%	26%	53%
	Higher Central	10%	10%	28%
	Central	5%	4%	17%

The effect of global warming on peak rainfall allowances is given in Table 1.

Table 1 Peak Rainfall Intensity

Table 1 Peak rainfall intensity allowance in small and urban catchments (1961 to 1990 baseline)			
Applies across all of England	Total potential change anticipated for 2010 to 2039	Total potential change anticipated for 2040 to 2059	Total potential change anticipated for 2060 to 2115
Upper End	10%	20%	40%
Central	5%	10%	20%

The annual sea rise due to climate change is given in NPPF and the recommended contingency allowances are stated in Table 2.

Table 2 Peak Sea Level Rise

Table 2 Peak Sea level allowance for each epoch in (mm) per year with cumulative sea level rise for each epoch in brackets (use 1981 to 2000 baseline)						
Area of England) (Use River Basin	Allowance	2000 to 2035	2036 to 2065	2066 to 2095	2096 to 2125	Cumulative Rise 2000 to 2125 (m)
Anglian	Higher Central	5.8 (203mm)	8.7 (261mm)	11.6 (348mm)	13 (390mm)	1.20m
Anglian	Upper End	7 (245mm)	11.3 (339mm)	15.8 (474mm)	18.1 (543mm)	1.6m

SUSTAINABLE DRAINAGE STRATEGY

Surface Water Drainage

Applications for developments where the proposals will result in the increase the amount of surface water run-off require that an appropriate drainage strategy to be undertaken to ensure that the surface water discharge mimics the existing pre-development regime.

Any proposed surface water drainage system will need to be designed to account for the effects of climate change over the lifetime of the development. Based on the recommendations the proposed drainage systems should be sized for the critical 1 in 100-year storm event and to allow for a 40% increase in rainfall intensity for climate change.

The development proposal is for the continuing use of an existing building, with no increase to the building footprint. In this case the existing surface water drainage system should be suitable for continued use. The drainage proposal is to utilise existing surface water connections serving the existing office, which have operated for many years without creating any problems, these will be cleaned out and renewed as necessary.

The access and parking areas already exist.

Foul Drainage

Paragraph 20 of the planning practice guidance section on Water supply, wastewater sets out a hierarchy of drainage options that must be considered and discounted in the following order:

1. Connection to the public sewer

2. Package sewage treatment plant (adopted in due course by the sewerage company or owned and operated under a new appointment or variation)
3. Septic Tank

Research has revealed that there are no public maintained foul sewers within close to the site, therefore the foul drainage from the office will continue to discharge to the onsite treatment plant.

The whole of the surface water and foul water drainage systems is operated and maintained by the site owners.

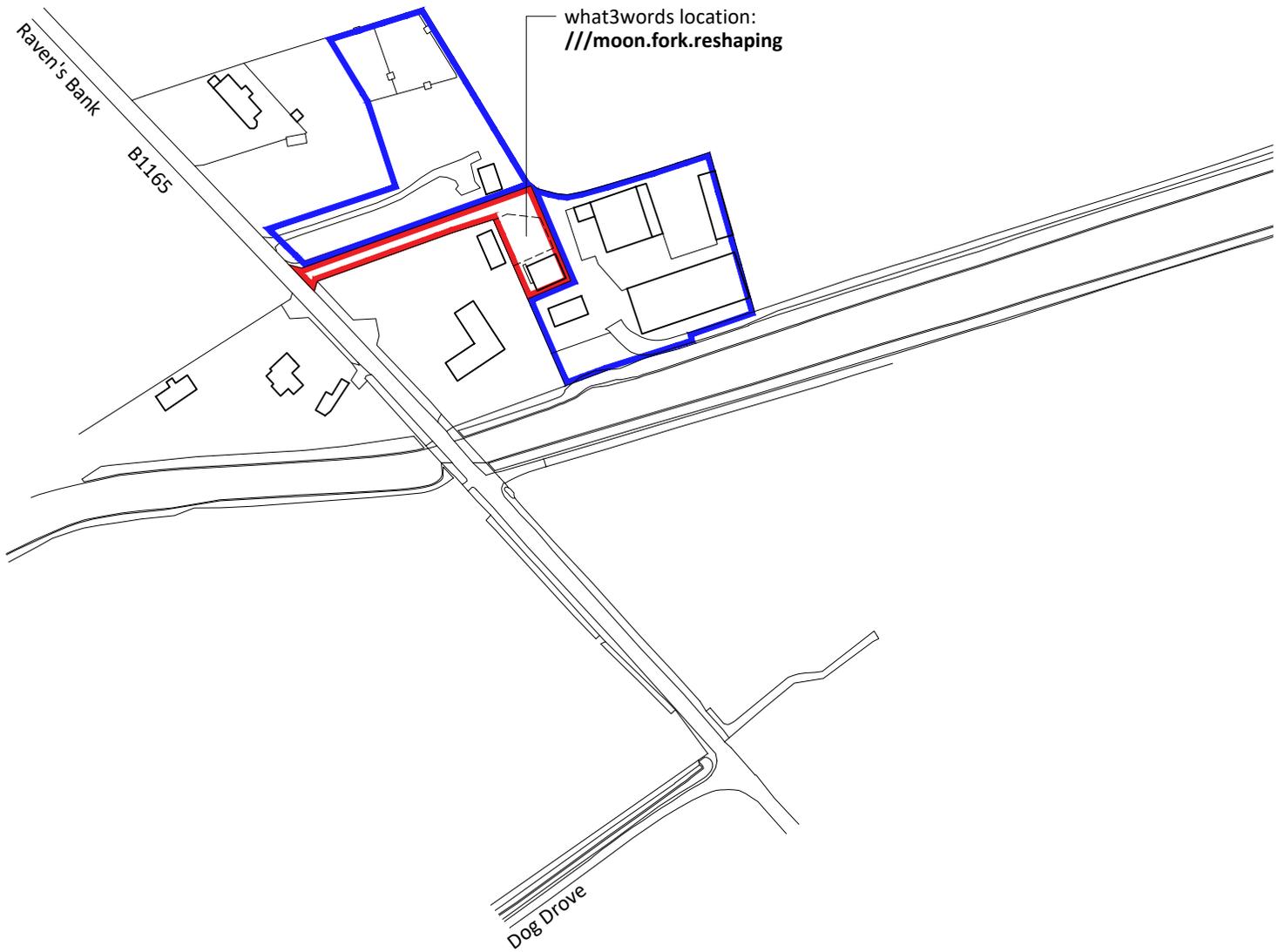
As there is a positive drainage system capable of receiving flows from the development there is no likely impact on neighbouring property.

CONCLUSION

- The site does have the benefit of protection from fluvial flooding by the existing defences which are properly maintained to a 1 in 100 standard of protection from flooding both now and for the lifetime of the development
- The proposed development is situated within an area defined as Flood Zone 3. This land is assessed as having a 1 in 100 or greater annual probability of river or sea flooding (>1%), or a 1 in 200 or greater annual probability of flooding from the sea (>0.5%) in any year. With the proposal being for the renewal of an existing building, there would be no additional vulnerability to flood risk nor any worsening of flood risk elsewhere.
- Applying the Flood Risk Vulnerability Classification in Table 2 of NPPG. The proposed use of the land and buildings for office use falls within the 'Less Vulnerable' uses of land shown in Table 2 Flood Risk Vulnerability Classification.
- The Environment Agency Long Term Flood Risk maps show that: the site has a Low chance of flooding from rivers or the sea (annual probability between 0.1% and 1.0%); the site is also shown to be at no risk from surface water flooding (annual probability less than 0.1%) and from any reservoir in the dry & wet day scenarios.
- The Tidal Hazard Mapping for the Area following a breach to the defences, shows that for the present-day and with climate change scenario annual chance 1 in 200-year event that the site is not within a Hazard rating area
- The ground floor of the office will remain at the existing level. With the building being two storey a safe refuge is provided at first floor level.
- No obvious constraints have been identified that may impact the proposed development and the type of mitigation measures that can be used to reduce the flood risk.

- It is therefore concluded that the proposed development can be constructed, safely and sustainably, to meet the requirements of NPPF and the South Holland District Council Local Plan policies.

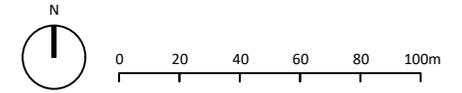
Plan 1



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Client
Horizon Agriculture

Project
Office Block
Clifton's Bridge

Drawing
Location Plan

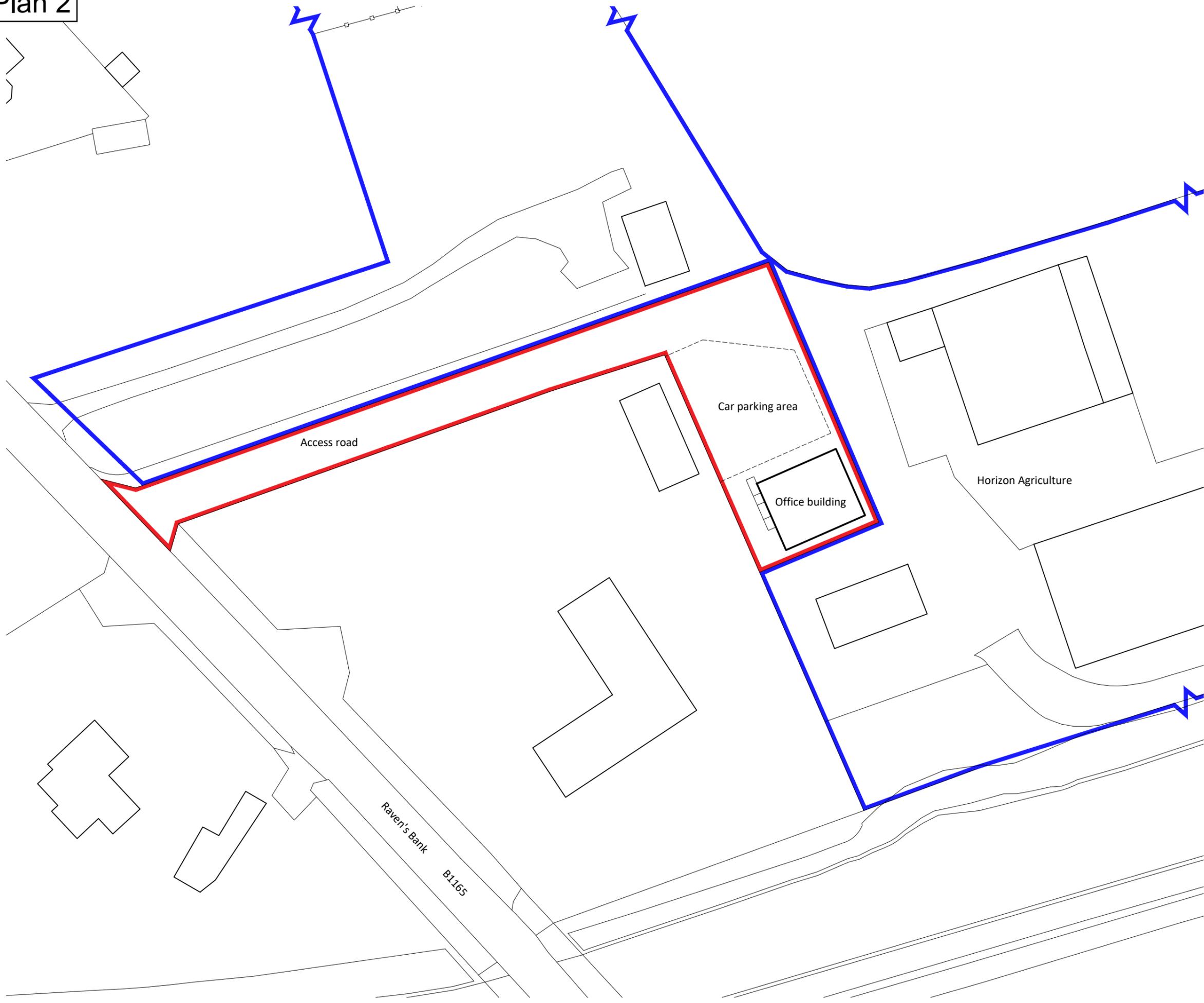
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Plan 2



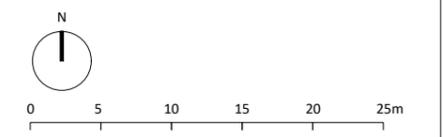
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Project
 Office Block
 Clifton's Bridge

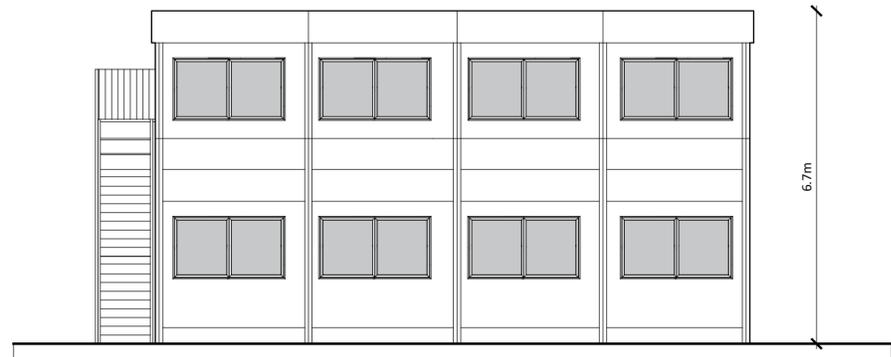
Drawing
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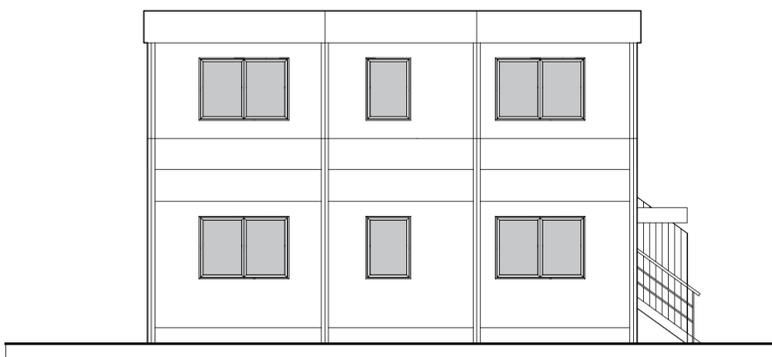
Drawn By WW	Checked By -
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Job Number 1411-5	Status FP	Purpose of Issue Planning
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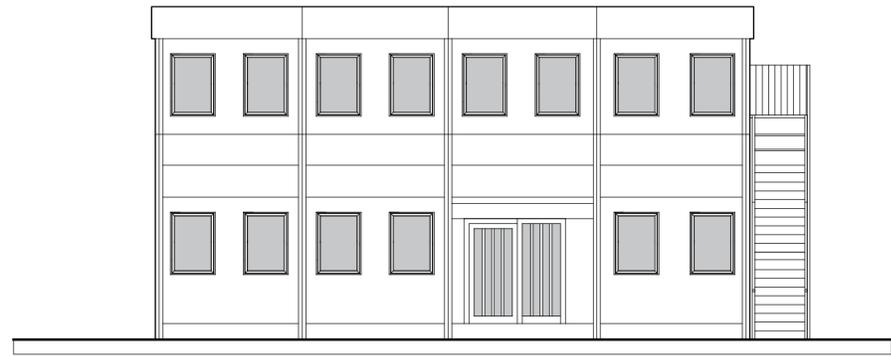
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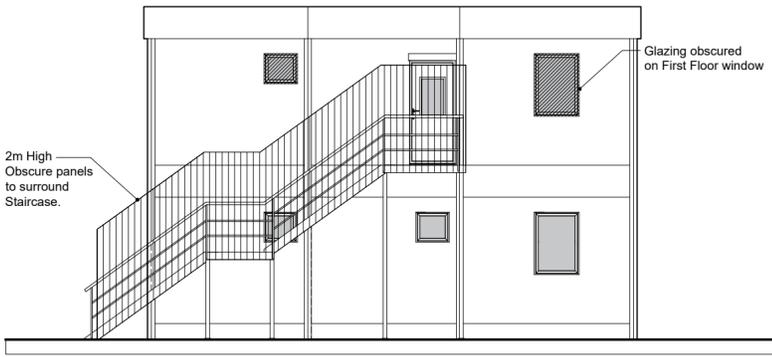
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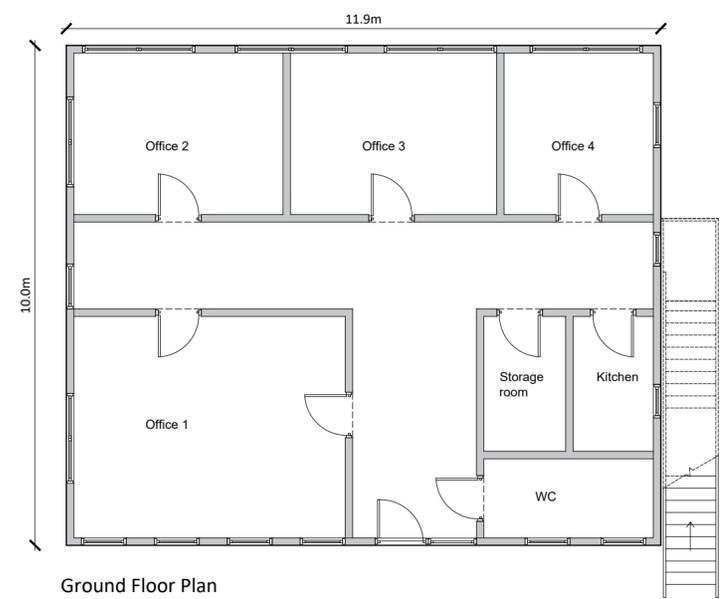
Side Elevation



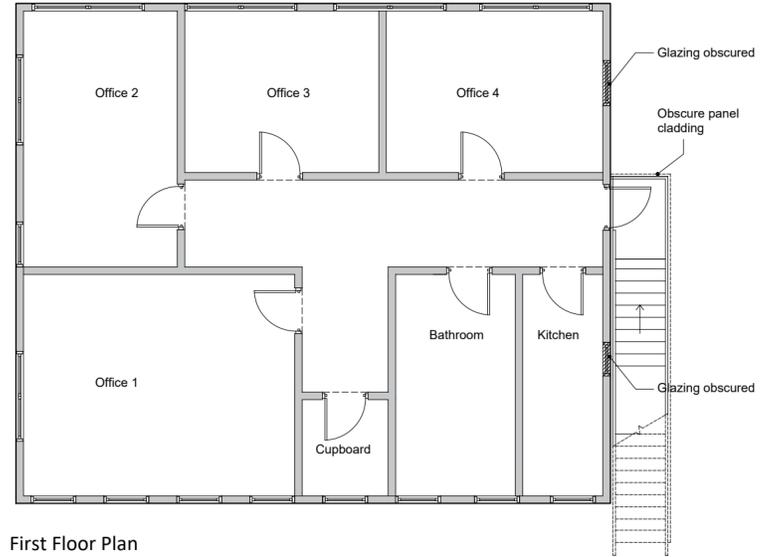
Front Elevation



Side Elevation



Ground Floor Plan



First Floor Plan

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Client
 Horizon Agriculture

Project
 Office Block
 Clifton's Bridge

Drawing
 Office block plans & elevations

Scale @ A2
 1: 100

Date
 22/09/25

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Job Number
 1411-5

Status
 FP

Purpose of Issue
 Planning

Drawing No.
 1411-5_FP_GA01

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