

Supporting Statement

Proposed erection of 4. no dwellings, associated garages and site works

Land at Boston Road, Gosberton, Spalding, PE11 4NR



Lincs Design Consultancy

12 Vickers Lane, Louth, Lincolnshire, LN11 9PJ

T: 01507 611155

W: www.lincsdesignconsultancy.co.uk

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DOCUMENT HISTORY

ISSUE NO	COMMENTS	DATE
1	Planning	12.01.2026

1.0 Introduction

- 1.1 This statement has been prepared to accompany a full planning application for the erection of 4 no. dwellings, along with associated garages and site works on a site which has extant approval for residential development, to land at Boston Road, Gosberton, Spalding, PE11 4NR.

2.0 Existing Site

- 2.1 The existing site is located off Boston Road, Gosberton, Spalding, Lincolnshire, PE11 4NR, see Figure 1. The site is approximately 0.28 ha and the grid reference is TF 24540 31898.

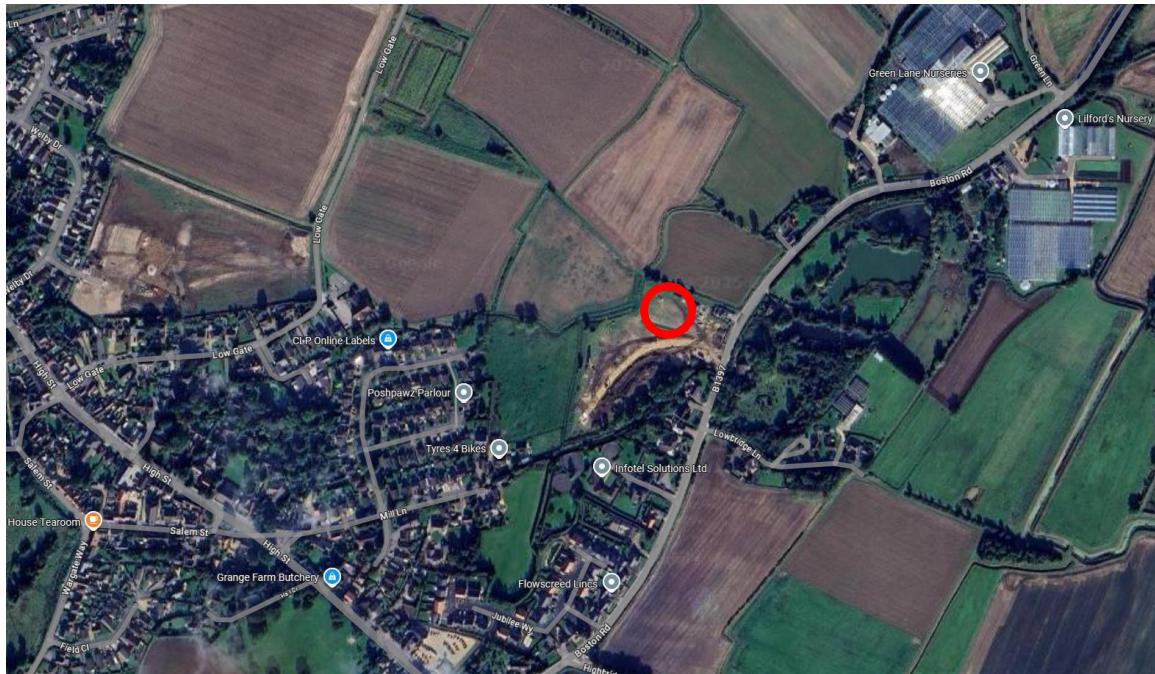


Figure 1- Aerial photograph showing the location of the site (site shown by red circle)

- 2.2 The site lies within the wider framework of the village where the principle of residential development is established.

2.3 The Environment Agency flood map for planning identifies the site as being within Flood Zone 3 (See Figure 2).



Figure 2- Environment Agency's flood map for planning (site shown by red boundary)

3.0 Proposed Scheme

- 3.1 These proposals seek permission to erect 4 no. dwellings in this location, which will all be 1 storey properties.
- 3.2 The dwellings have been lined centrally along the site, with allowance for associated garages and turning space. The dwellings have been designed to reflect the character of the wider development. The proposed plots will all have appropriate parking provision. (See Figure 3)
- 3.3 The proposed development of 4 units on a site of 0.28 Ha constitutes minor development.



Figure 3- Proposed site plan

4.0 Planning Policy

4.1 Layout, Design and amenity.

As described in section 3 of this statement, the proposals have been designed to reflect the layout and character of the wider development scheme. The proposed scheme will provide 1 storey dwellings which will minimise the impact of the development on neighbouring properties. In addition, the dwellings will also follow the same drainage strategy as that of adjoining development, with foul water discharging into the existing drainage system and surface water from the plots being dealt with permeable sub-base attenuation and gutter systems, discharging to an existing sewer. As such the proposals accord with policies 02, 03 and 17 of the local plans.

4.2 Flood Risk and drainage

A Flood Risk Assessment has been prepared to accompany this application which concludes that the development is acceptable in accordance with policy 04 of the local plan.

4.3 Bio-diversity Net Gain

A Bio-Diversity Net gain statement has been prepared to accompany this application and concludes the site which has stone surfacing has no BNG value.

4.4 Access and parking

The plots will be accessed from the new internal estate road installed off Boston Road. The proposed dwellings will then be accessed by a separate private driveway and will all have appropriate levels of parking.

4.5 Residential Amenity

Paragraph 135 of the NPPF states that development should create places that are safe, inclusive, and accessible and which promote health and well-being, with a high standard of amenity for existing and future users. Policies 2 and 3 of SELLP sets out that residential amenity and the relationship to existing development and land uses is a main consideration when making planning decisions.

For the eastern most plot, this is adjacent to the rear boundary of the nearby plot further to the east. However, these properties are bungalows, so there will be no first floor overlooking. Furthermore, there are only two windows to this boundary, both of which will be obscure glazing, being in the bathroom and ensuite. As such, there will be no risk of overlooking at all.

5.0 Conclusion

- 5.1 The proposed application seeks full planning approval for the erection of 4 no. dwellings on a site. The proposed dwellings will follow the character of the wider area and other technical matters have been addressed.
- 5.2 This statement has described the proposals and how they adhere to local and national planning policy. As such it is submitted that the proposals should be supported in accordance with relevant planning policy.