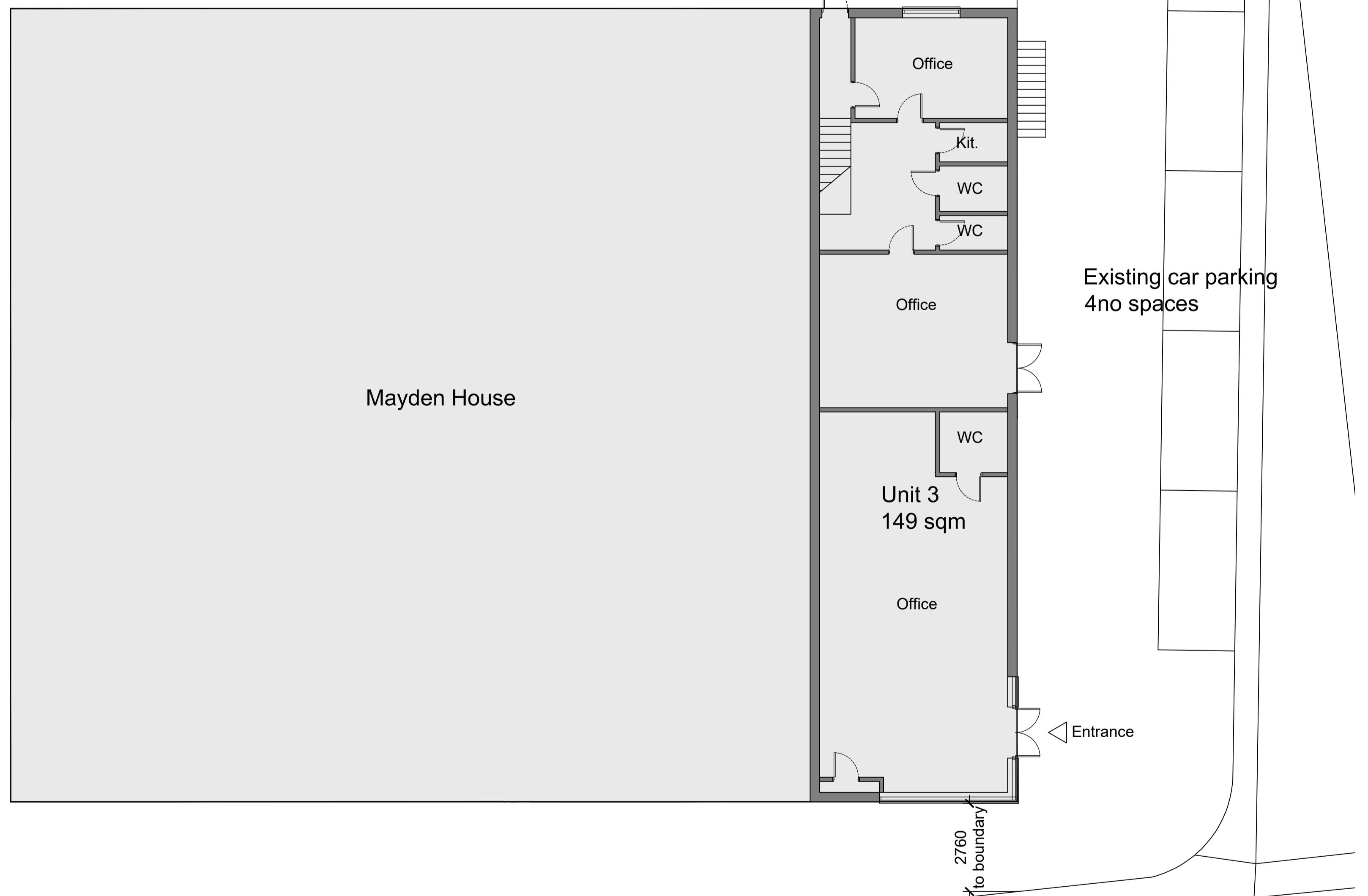
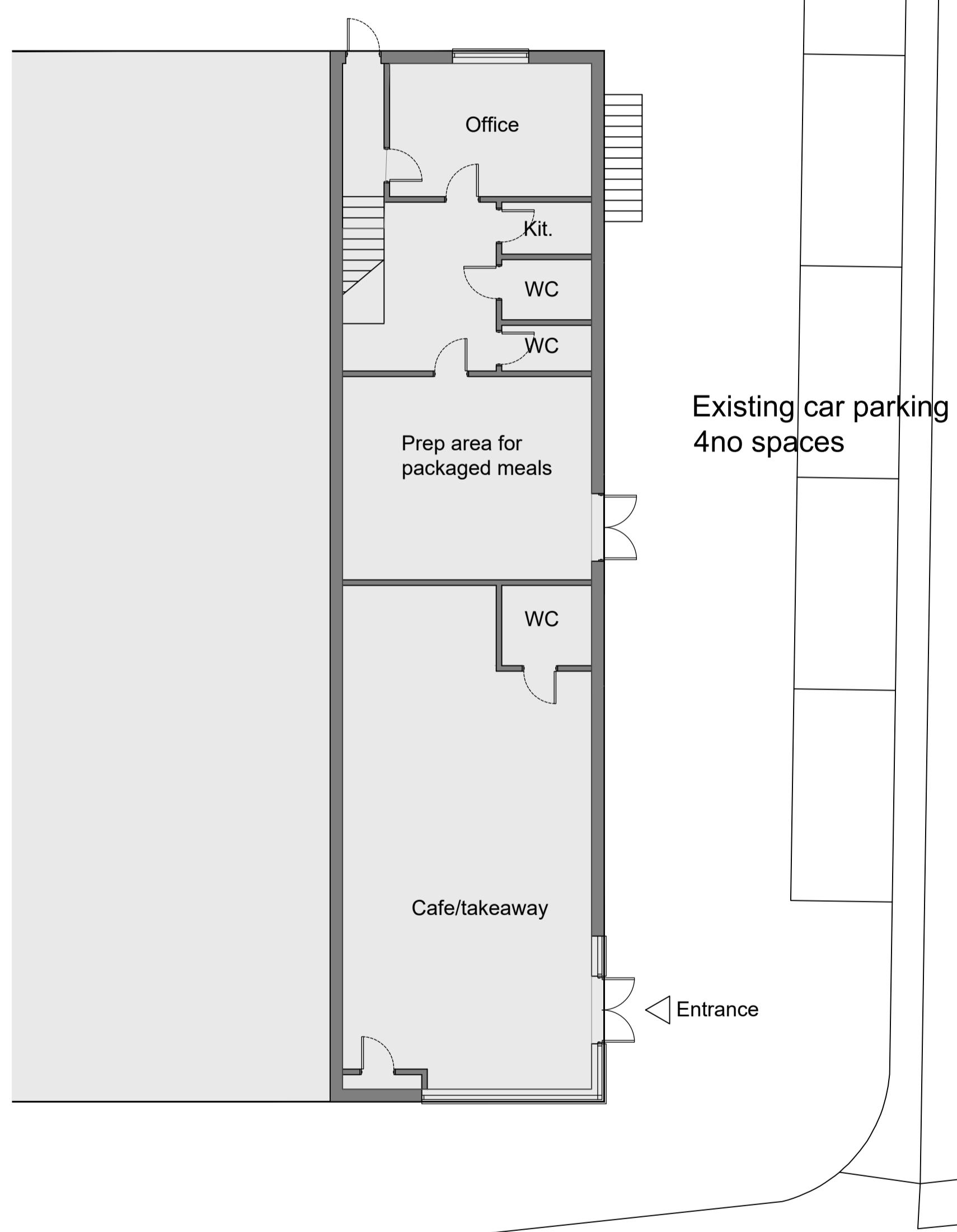


Access to the site is from  
Bervor Close, see drawing no  
A1776-01



Parking  
4no spaces to the east of the building  
10no undefined spaces within remainder of site  
1no cycle space (all as existing)

Waste and recycling  
2no skip spaces, 1 for waste and 1 for recycling  
to the north east of the site.



DO NOT SCALE THIS DRAWING. THE CONTRACTOR IS DEEMED TO HAVE CHECKED ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO OGLESBY & LIMB LTD.  
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P1 Planning application for change of use AP  
Ref Date Description Initial

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PE11 1SL  
Tel: 01775 761196  
e-mail: design@o-l-ltd.co.uk

O&L

Client:  
**Kelly Newman**

Project:  
**Change of Use  
Unit 3, Mayden House  
Wardentree Lane  
Pinchbeck PE11 3UG**

Drawing Title:  
**Site and floor plan**  
**PLANNING APPLICATION ISSUE**

Date: Mar 2025 Scale: as shown @ A1  
Drawn by: AP Checked by: AJO

Drawing Number: A1776-10 Rev: P1