

Access to the site is from  
Bervor Close, see drawing no  
A1776-01

Waste & recycling skips

7115 to boundary

Mayden House

Office

Kit.

WC

WC

Office

WC

Unit 3  
149 sqm

Office

Existing car parking  
4no spaces

Entrance

2760  
to boundary

Parking  
4no spaces to the east of the building  
10no undefined spaces within remainder of site  
1no cycle space (all as existing)

Waste and recycling  
2no skip spaces, 1 for waste and 1 for recycling  
to the north east of the site.

Waste & recycling skips

Secure  
cycle  
stand

Office

Kit.

WC

WC

Prep area for  
packaged meals

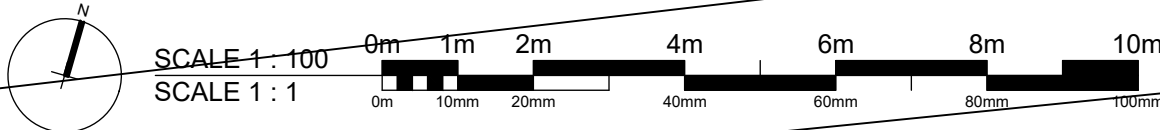
WC

Cafe/takeaway

Existing car parking  
4no spaces

Entrance

Site and Floor Plan as Existing  
Scale 1:100 @ A1



Wardentree Lane

Site and Floor Plan as Proposed  
Scale 1:100 @ A1

Wardentree Lane

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P1	Planning application for change of use	AP
Ref	Date	Description
		Initial

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O&L

Client:  
**Kelly Newman**

Project:  
**Change of Use  
Unit 3, Mayden House  
Wardentree Lane  
Pinchbeck PE11 3UG**

Drawing Title:

Site and floor plan

PLANNING APPLICATION ISSUE

Date:	Mar 2025	Scale:	as shown @ A1
Drawn by:	AP	Checked by:	AJO

Drawing Number:	Rev:
A1776-10	P1