



F PLANNING REPORT

Belvor Close, Spalding, Lincolnshire. PE11 3FZ

20 May 2021

Planning Reference H14-0391-21

We are in responding to consultees responses as outlined below, whilst there are some instances where we consider they should not necessarily form part of the application.

01 Project Details

02 Environment Agency

03 Anglian Water

04 Lincolnshire County Council

05 Internal Drainage Board

06 Comments

01 Project Details

Erection of chill store, collation, loading dock together with offices, self store containers and car parking.

02 Environment Agency

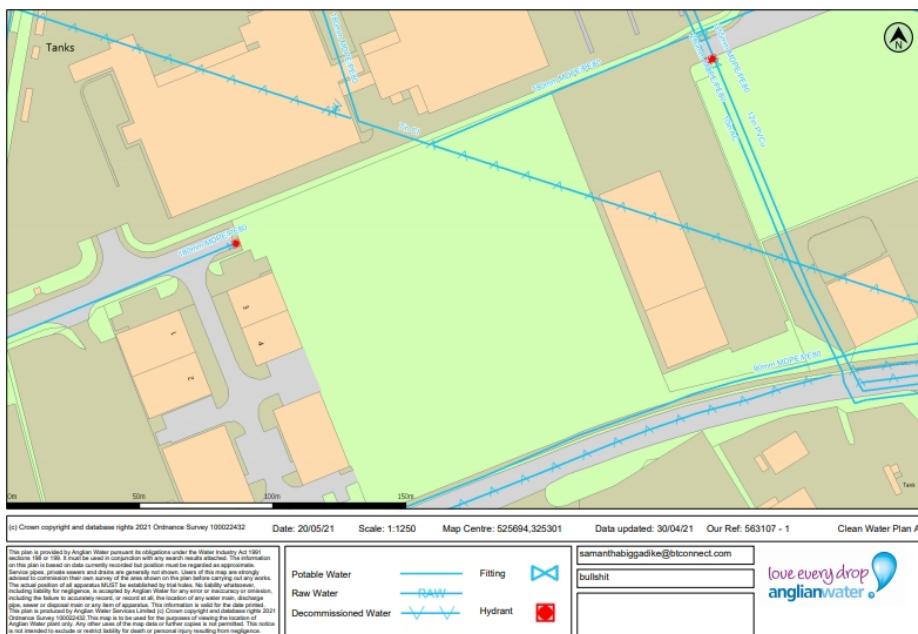
We are aware of local flood risk and standing advise in relation to floor levels however floor levels need to be practical and we have adopted our approach on this basis the proposal of 3.150m ODN floor level is actually 250mm higher that the existing buildings on freshlinc site which is 2.900m ODN. This is as high as we believe is practicable given the interaction of site operations. Raising the floor levels further is not an available option. Consideration given to preventing flood water entering the building is also not practical as the projected depths of 0.5 to 1.0 m would cause structural damage to walls and loading docks are impossible to water seal.

Clearly this is a single story building and as EA suggest a refuge or an escape plan is required, Freshlinc have had an escape plan in place since 2014. Our Floor risk assessment provides an Evacuation Plan in section two paragraphs 20 – 24 inc. and a suggested escape route in appendix K.

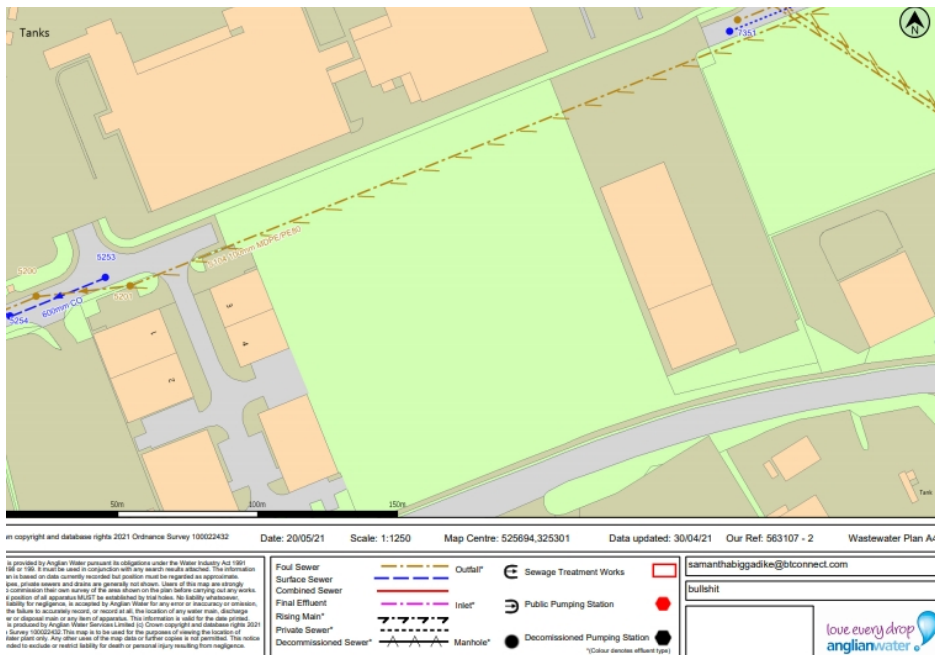
03 Anglian Water

Anglian Water comments are.

Section1 Assets there are AWA crossing the site and there are assets running close to the site which will be taken into account during the works. Should any unknown assets be found during the work AWA will be consulted accordingly. Below are the asset maps we have taken into account during our site planning.



Note the blue diagonal line is an abandoned pipe



Pump main as shown on our drainage plan

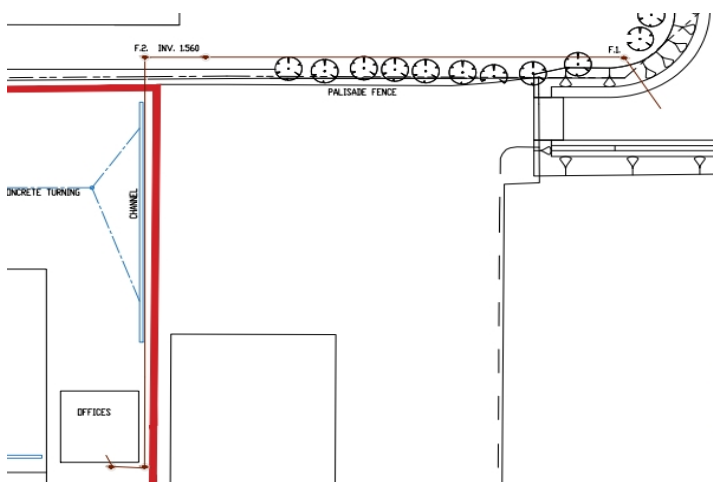
Section 2 Waster water treatment, confirmed there are 4 wc pans and a kitchen sink on an industrial estate site with adopted infrastructure which has been design accordingly.

Section 3 used water network, AWA state that they have used :- application form, location plan, flood risk assessment and design access statement for making their assessment and further comment there is insufficient information clearly they should read the site plan and the drainage plan provided with the application.

AWA have not in our view undertaken a topo survey or made any assessment on the provision of foul water drainage. We have on the other hand have done so and there is sufficient private foul drainage on the site which connects to the AWA foul sewer in Platts Close.

The Manhole existing (private) F2 inv 1.560 ODN shown on our drainage plan ultimately connects (Private) F1 inv 1.150 ODN on a lateral provided as part of the Platts Close adopted sewer development.

Our floor level is 3.150 ODN with an in pipe gradient of 1:85 we can provide gravity fall for the proposal.



Extract of our submitted drainage plan

We do not believe a condition for the foul water scheme is necessary and certainly a phasing condition would be entirely inappropriate

Informative (1) connection to public sewer is noted
Informative (2) connection to public sewer is noted
Informative (3) protection of awa assets is noted
Informative (4) building near a public sewer with bye law limit is noted
Informative (5) we note comments that the site drainage is not approved
however there are no adoptable public sewers proposed as part of this development

Section 4 Surface water, correct the proposal does not involve connection to awa sw asset.

Section 5 Suggested conditions under section 3, we have reviewed the suggested condition and although we have taken fw discharge into account we have no concern either way the scheme will be submitted as part of the section 106 connection to public sewer anyway.

Next steps – this would appear to be a cut and paste standard paragraph, there is no need for a pre app consultation for 4 WCs and a sink awa have already stated in their commentary that there is capacity, all that is required is a section 106 application for connection (indirect) to a public sewer.

Foul Water this is also a cut and paste paragraph without taking into full account of the submitted plans.

We clearly have no intention of connecting to a rising main !

04 Lincolnshire County Council

The highways comments are noted and we are content with the suggested conditions
Highways Informative –

03. An application for the new access to a public highway will be made prior to commencement,

08. Statutory services, applications for service connections are to be made together with permits for work in the highway.

33. A detailed surface water drainage scheme design will be submitted and approved prior to commencement, the scheme shall take into account, sustainable drainage principles, be limited to 1.4 litres per second run off rate by on site by storage/attenuation scheme, 100 year critical storm event will be used in the design.

We have preformed a preliminary assessment and an outline scheme is included in the application.

There are no dwellings as suggested by LCC or any phasing proposed.

A formal planning condition will be acceptable reflecting the LCC comments in respect of a detailed drainage scheme being provided prior to commencement.

05 Internal Drainage Board

The IDB has been consulted and discharge rate and discharge points agreed in principle a formal application for discharge consent will be prior to commencement.

A formal planning condition will be acceptable reflecting the IDB comments.

06 Comments from a planning agent

We note comments which we do not believe to be relevant to a planning application as such however we will comment and provide below our pre planning drawings which were used to formulate the overall plan, there are however subject to our Health and Safety Audit procedures and may change.

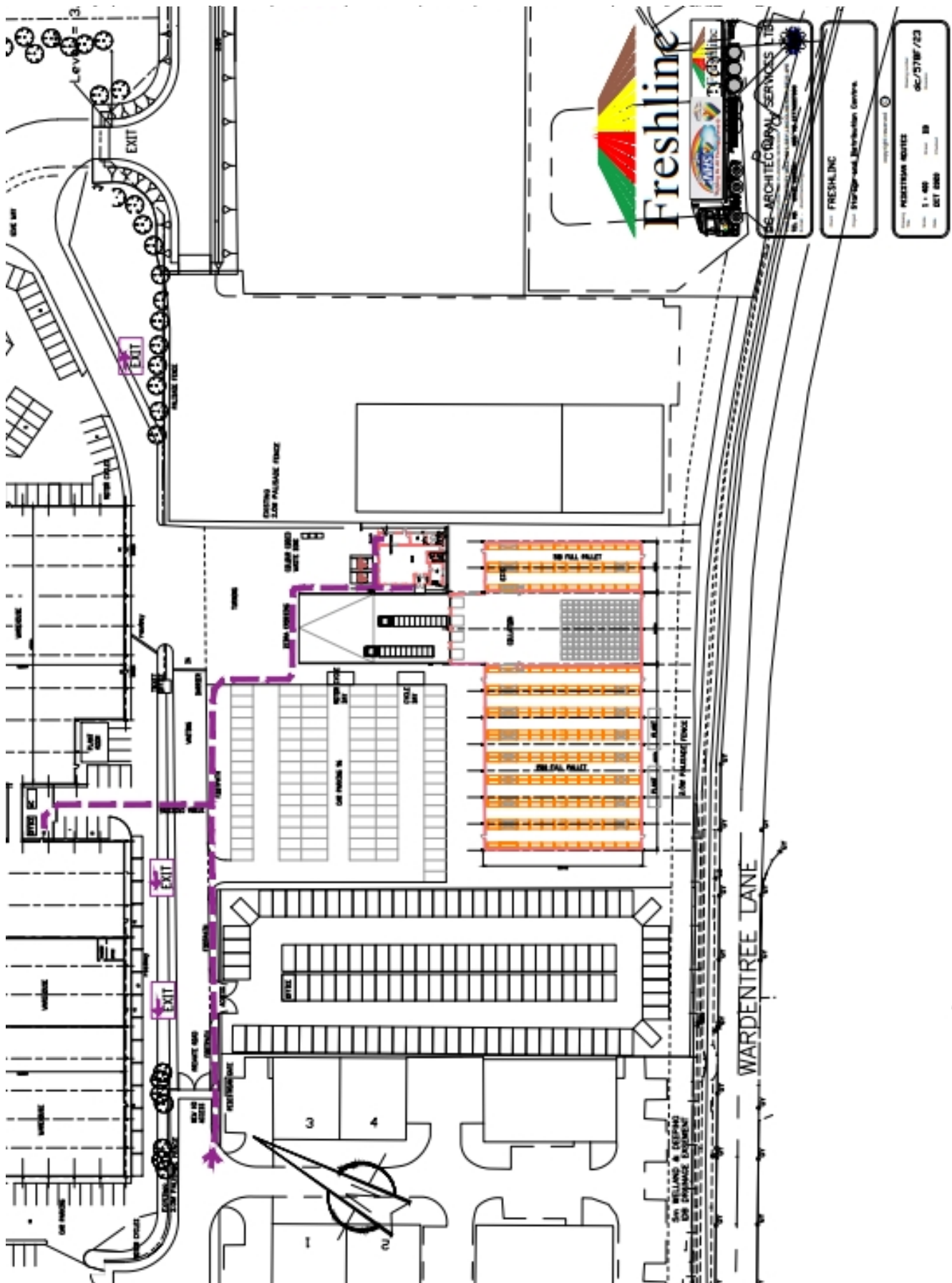
Bullet points

- The locked gate ? there has been no decision to lock or not lock the gate, the lock does not form part of our proposals
- We have considered vehicle movements at length at our board level pre- planning meetings as transport operators this is important part of the site planning, we attach below copies of our sketches used in this process although we do not anticipate they be part of the application as they may change. We will not be providing swept path analysis as experienced designers in this field and the vast experience of the professional client there is clearly adequate space allowed for operations.
- The car parking is, not surprisingly being provided for drivers.
- We will not be providing a separate application for containers.
- Please refer to our site plans and our plans above the is adequate parking within the container site for loading unloading and a pedestrian footpath linking the footpath on the highway to the container store and it continues on to and past the car park and to the office and chill store via walkways and controlled crossing points.

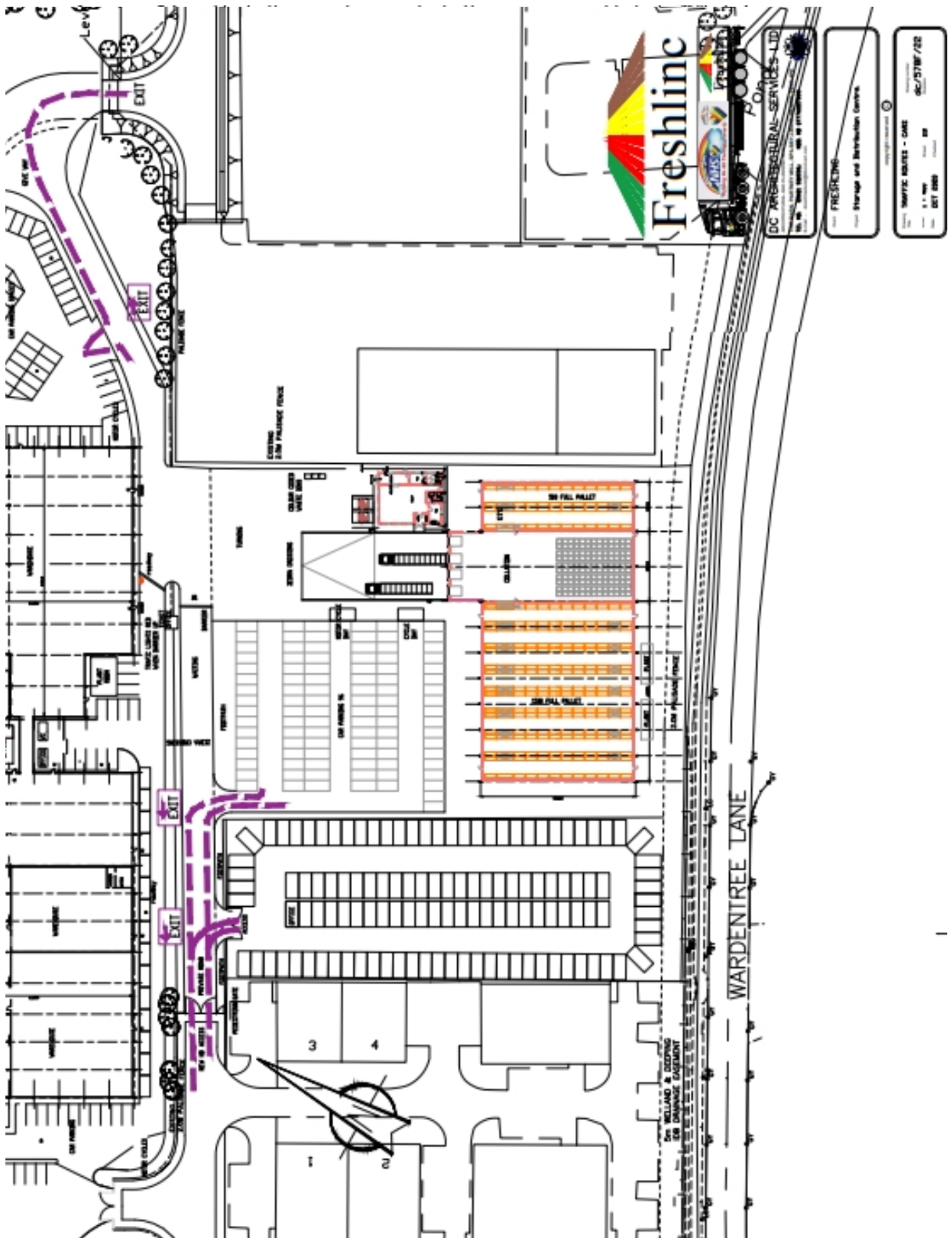
Please do not be concerned about due consideration of our proposals or how it fits in with our operations the project has and will continue to be given upmost consideration, we will however not be providing a business plan.

Should you wish to discuss any points further please contact me on 07776227893





Pedestrian routes



Car routes

