

Ellingham Consulting Ltd

Tim Ellingham, Director
tim@ellinghamconsulting.co.uk

FLOOD RISK STATEMENT ACORN LODGE, CRANESGATE NORTH, WHAPLODE ST CATHERINE

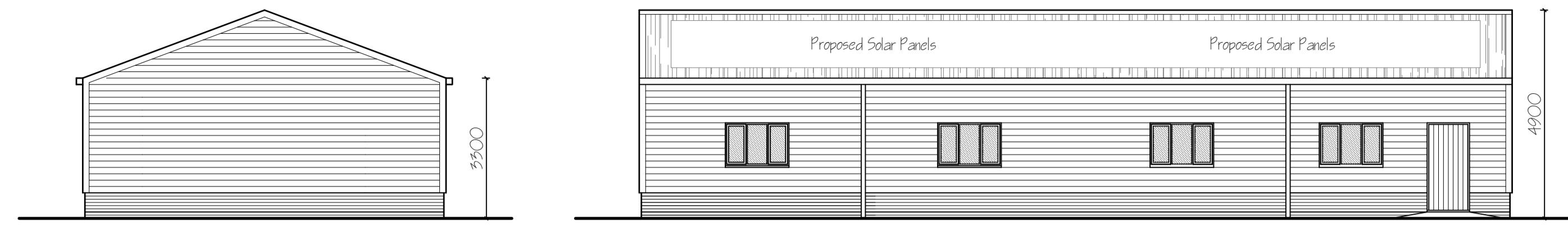
This Flood Risk Statement has been prepared to describe the level of flood risk at the site and to demonstrate the proposed development will be safe for its lifetime.

| | |
|--------------------------|---|
| Site Location | Acorn Lodge, Cranesgate North, Whaplode St Catherine, Spalding, Lincs, PE12 6ST. A Site Plan and Location Plan is attached. |
| Proposed Development | Minor extension (householder) – Hobby workshop and open fronted garage. |
| Flood Risk Vulnerability | There is no change to the flood risk vulnerability at the site due to the proposed development. |
| Drainage / Watercourses | The site is within the Little Holland catchment of the South Holland IDB district. The River Welland tidal defences are 8.3km to the west of the site. |
| Topography | The site is flat with ground levels typically between +2.4m OD and +2.7m OD. |
| Flood Zone | The site is partly located in Flood Zone 3a. |
| Surface Water Risk | When climate change is considered part of the site has a high chance of surface water flooding with depths to 0.2m. The built footprint of the development has a very low chance of surface water flooding. |
| Fluvial Flood Risk | The site is not at risk, the River Welland defences provide protection during the 1% AEP event with climate change. |
| Tidal Flood Risk | Due to the defences the site is not at risk during the 0.5% annual probability tidal event with climate change. |
| Tidal Breach | The site is not at risk during a tidal breach. |
| Flood Warning Area | East of Spalding. |

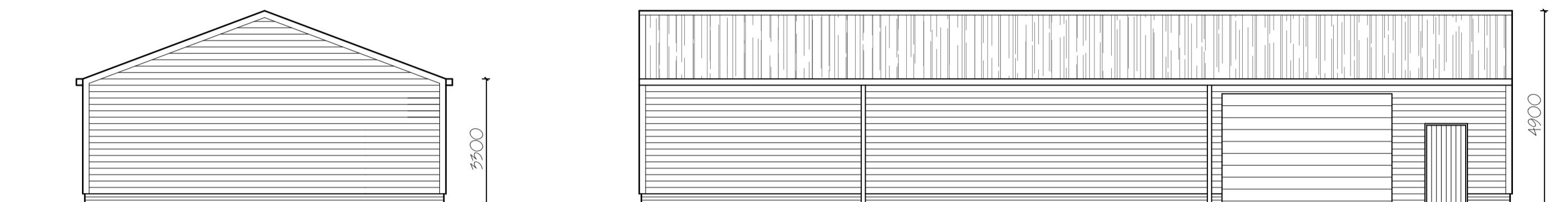
The proposed development is a minor extension. It is for a hobby workshop and garage and therefore will not increase the risk to the occupier of the dwelling or increase flood risk elsewhere. There are no mitigation measures recommended to reduce the risk of flooding.

The developer should ensure that the occupier of the dwelling is aware of the risk of flooding. The Environment Agency operates a flood warning system for areas at risk of flooding to enable householders, businesses, and landowners to protect life or take actions to manage the effect of flooding. The occupier of the dwelling should register to receive flood warnings.

Tim Ellingham
23 July 2025
ECL1595

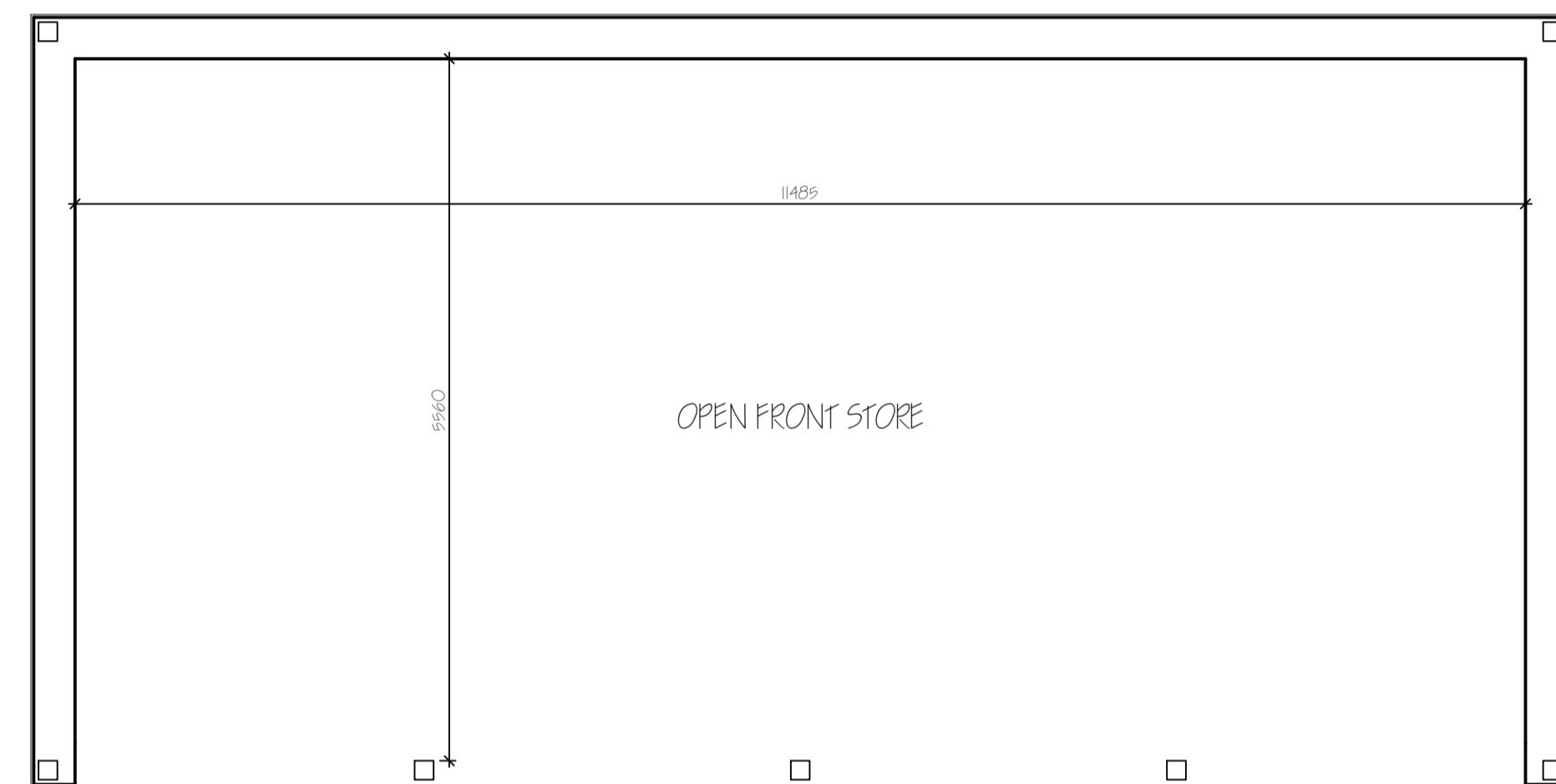


WEST ELEVATION 1:100

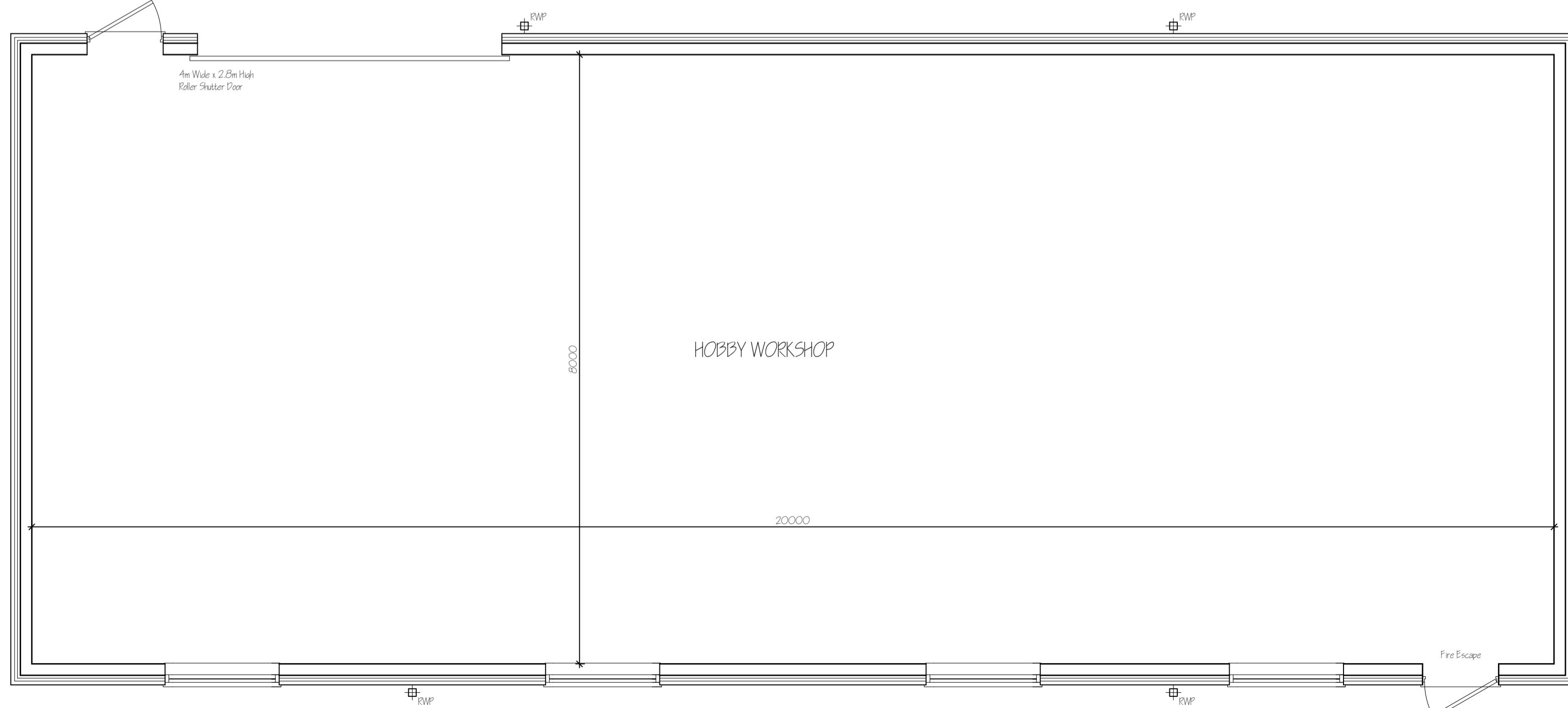


EAST ELEVATION 1:100

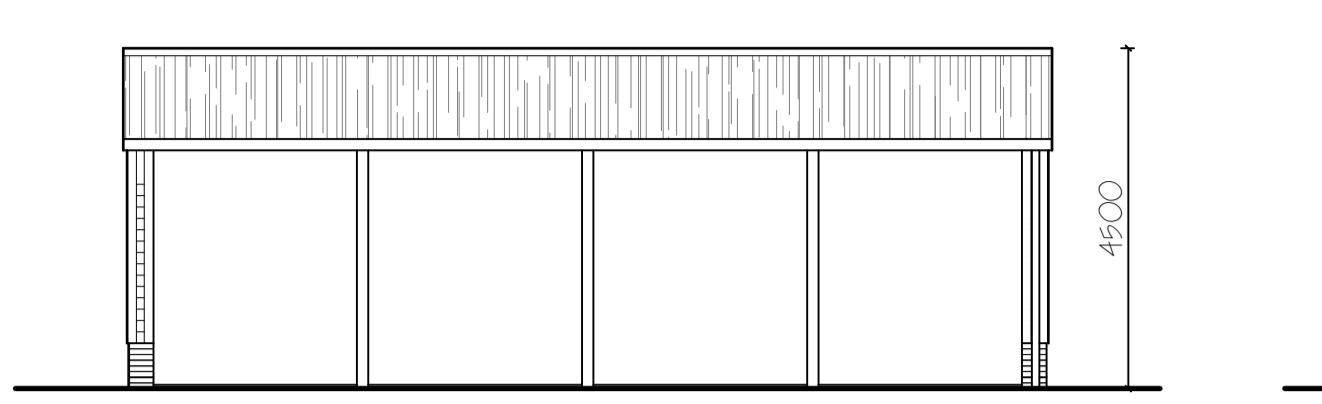
HOBBY WORKSHOP ELEVATIONS



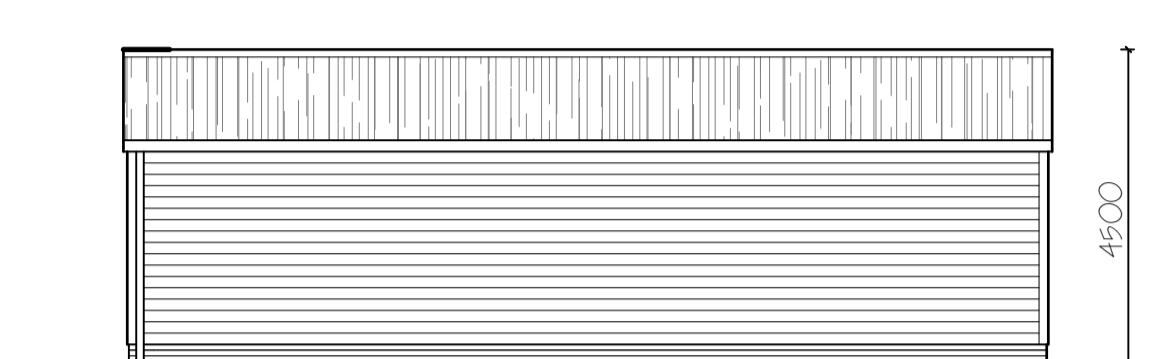
GARAGE GROUND FLOOR PLAN 1:50



WORKSHOP GROUND FLOOR PLAN 1:50



NORTH ELEVATION 1:100

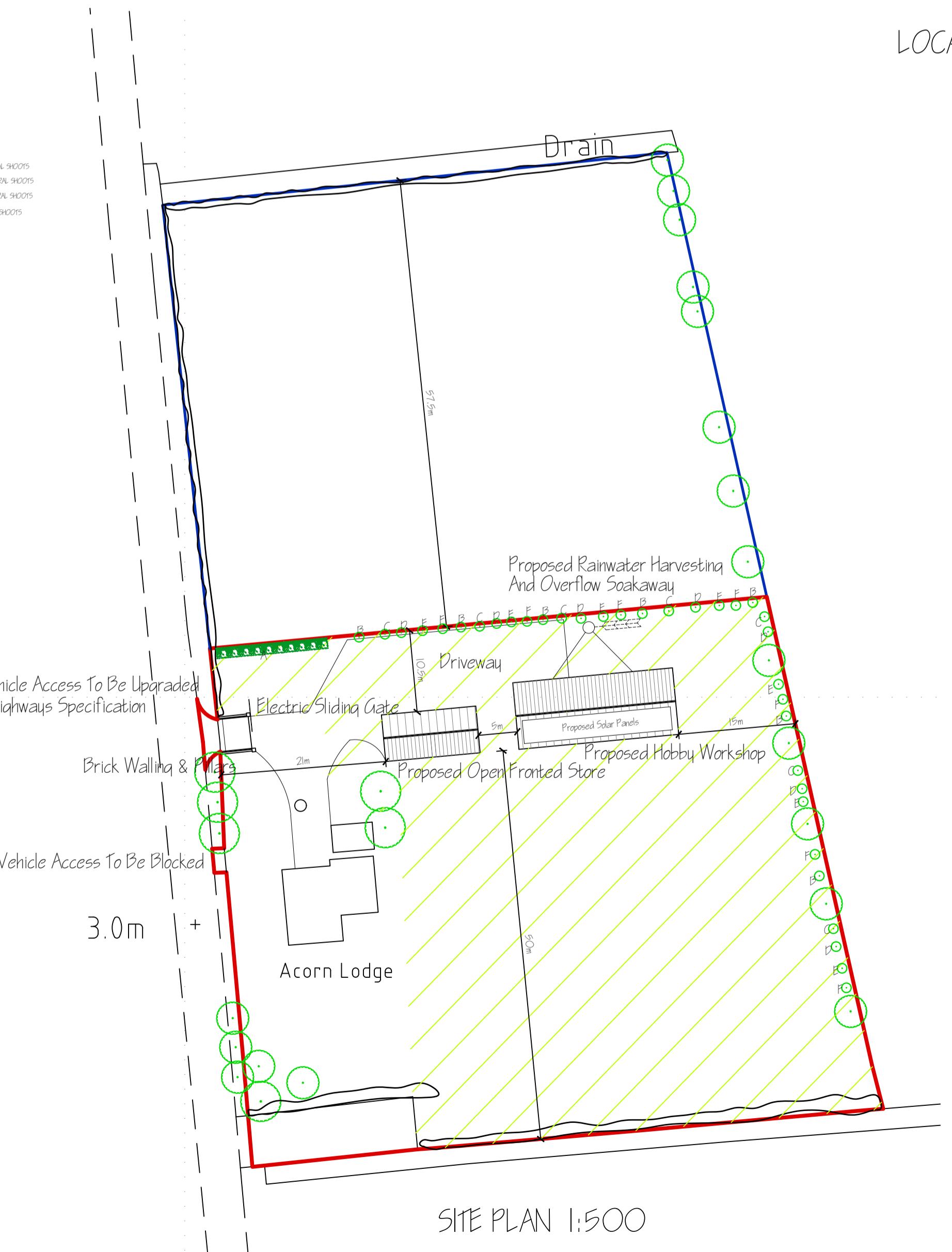


SOUTH ELEVATION 1:100

STORE ELEVATIONS



LOCATION PLAN 1:2500



SITE PLAN 1:500

| H | BNG INFO ADDED | NOV '2025 |
|---|-------------------|------------|
| G | CLIENT AMENDMENTS | OCT 2025 |
| F | CLIENT AMENDMENTS | OCT 2025 |
| E | CLIENT AMENDMENTS | OCT 2025 |
| D | SCHEME DESIGN | OCT 2025 |
| C | LANDSCPAING ADDED | JULY '2025 |
| B | CLIENT AMENDMENTS | JULY 2025 |
| A | CLIENT AMENDMENTS | JUNE 2025 |

G. R. MERCHANT LTD. 
I.ENG AMICE FIWO

**ARCHITECTURAL, STRUCTURAL
AND LAND DRAINAGE**

**4 Wrights Mews
12A Park Road, Holbeach,
Spalding, Lincs. PE12 7EE
Tel: 01406 490800
Fax: 01406 425744
E-Mail: gr.merchant@btconnect.com**

Project
PROPOSED HOBBY WORKSHOP & STORE
'ACORN LODGE', CRANESGATE NORTH
WHAPLODE ST CATHERINE
SPALDING, LINCS. PE12 6ST

Client
MR T TWIGGER

Drawing
FLOOR PLAN - PROPOSED
ELEVATIONS - PROPOSED
PROPOSED SITE PLAN & LOCATION PLAN

| | |
|----------|-------------|
| Job Ref. | Drawing No. |
| 4394-25 | OIH |
| Date | Drawn |

JUNE 2025

SLB

DO NOT SCALE FROM THIS DRAWING

This drawing is copyright and may not be altered, traced, photographed or used for any other purpose other than that for which it is issued. The General Contractor is to check all dimensions on site and report any discrepancies to the Architect. All details shown on this drawing including foundations are based upon typical site conditions related to the area. No responsibility can be accepted for abnormal conditions which may be discovered during construction unless reported to the Architect so that design amendments may be considered. Site soil surveys are recommended in respect of foundations to establish specific site conditions before foundation work is undertaken. This drawing is limited in the amount of information contained and does not purport to contain a full specification of the works. It is solely for the purpose of obtaining Planning / Building Regulation approval. This drawing must not be used as a contract document alone. The works will not be supervised or inspected on site by G R Merchant or any representative thereof. It is the client or their appointed agents responsibility to control workmanship, substitution of materials, adherence to specification, variations to contract etc. All materials to be new unless otherwise stated and all components and materials etc. to be used fitted and installed etc. in strict accordance with manufacturers instruction and relevant code of practice. Materials shall conform to appropriate British standard specification or BBA certificate or European code equivalent. The Employer / Client shall ensure that the selected contractor is conversant with and adopts all measures necessary to achieve compliance with Health and Safety legislation for Building sites and Work places. The Employer / Client is advised that should the works need to comply with the Construction Design and Management Regulations an independent Planning Supervisor will be required. The works shall comprise of all that is shown on the drawing and details. Work that may not specifically be shown but may be reasonably inferred as necessary to carry out the works shall be deemed to be included. It is the plot / land owners responsibility to be aware of the Party Wall etc. Act 1996: when building in close proximity to adjoining neighbors boundaries.